

# CITY OF COMMERCE

## Bid Packet

BID No.20-005

**(Rehabilitation/New Construction Project)**

### **WORK WRITE-UP:**

**942 STATE STREET (Rehab)**

**2960 OLD MAYSVILLE ROAD (Rehab)**

**80 PINE AVENUE (New Construction)**



Bid Release:	(November 06, 2019)
Preconstruction Meeting:	(November 12, 2019, 9:00 AM)
Bid Questions Deadline:	(November 25, 2019, 10:00 AM)
Bid Due Date:	(December 02, 1:30 PM)

**Postal Return Address:**

CITY OF COMMERCE  
Attn: Jordan Shoemaker  
Planning and Zoning Administrator  
545 Cedar Drive  
Commerce, GA 30529

**Courier Delivery Address:**

CITY OF COMMERCE  
Attn: Jordan Shoemaker  
Planning and Zoning Administrator  
545 Cedar Drive  
Commerce, GA 30529

## **WAIVER OF TECHNICALITIES**

All items must meet or exceed specifications as stated by the City of Commerce. The City of Commerce reserves the right to waive any technicalities and to reject or accept any Bid in its entirety or to accept any portion thereof if it is determined that either method results in lower costs, better service, final satisfaction or is otherwise determined to be in the best interest of the City of Commerce. Award may be made by item number or in total. Determination of best response to Bid will be the sole judgment of the City of Commerce. Bids shall remain valid for ninety days for the date of Bid opening.

## **BID REJECTION**

The City of Commerce reserves the right to reject any or all Bids at any time without penalty.

## **MODIFICATION OF BIDS**

Any clerical mistake that is patently obvious on the face of the Bid may, subject to the limitations described below, be corrected upon written request and verification submitted by the Bidders. A nonmaterial omission in a Bid may be corrected if the City of Commerce determines that correction to be in the City's best interest. Omissions affecting or relating to any of the following shall be deemed material and shall not be corrected after Bid opening:

- (1) Price Information
- (2) Any required Insurance
- (3) Section 3 Packet
- (4) HUD Certification Forms
- (5) Bid Certification; and
- (6) Detailed spreadsheet for each phase of project

## **WITHDRAWAL OF BIDS**

Bids may be withdrawn at any time prior to the Bid opening. After Bids have been publicly opened, withdrawal of a Bid shall be based upon the following:

The Bidders shall give notice in writing of his claim of right to withdraw his Bid due to an error within two business days after the conclusion of the Bid opening procedure. Bids may be withdrawn from consideration if the price is substantially lower than the other Bids due solely to a mistake therein, provided the Bid was submitted in good faith, and the mistake was a clerical mistake as opposed to a judgment mistake, and was actually due to an unintentional arithmetic error or an unintentional omission of a quantity of work, labor or material made directly in the compilation of the Bid, which unintentional arithmetical error or unintentional omission can be clearly shown by objective evidence drawn from inspection of original work papers, documents and materials used in the preparation of the Bid sought to be withdrawn. The Bidder's original papers shall be the sole acceptable evidence of error and mistake if he elects to withdraw his Bid. If a Bid is withdrawn under the authority of this provision, the lowest remaining responsive Bid shall be deemed to be the low Bid.

## **BIDDERS RESPONSIBILITY**

When determining whether a Bidder is responsible, or when evaluating a Bid, the following factors may be considered, any one of which will suffice to determine whether a Bidders is responsible, or the Bid is the most advantageous to the City:

- The ability, capacity and skill of the Bidders to perform the contract or provide the equipment and/or service required.
- The character, integrity, reputation, judgment, experience and efficiency of the Bidders (qualifications must be submitted with bid response).
- Whether the Bidders can perform the contract within the time specified.
- The quality of performance of previous public and private contracts or services, including, but not limited to, the Bidder's failure to perform satisfactorily or complete any written contract. The City's termination for default of a previous contract with a Bidder, within the past three years, shall be deemed to be such a failure.
- The previous and existing compliance by the Bidders with laws relating to the contract or service.
- Evidence of collusion with any other Bidders, in which case colluding Bidders will be restricted from submitting further Bids on the subject project or future Bids, for a period not less than three years.
- The Bidders has been convicted of a crime of moral turpitude or any felony, excepting convictions that have been pardoned, expunged or annulled, whether in this state, in any other state, by the United States, or in a foreign country, province or municipality. Bidders shall affirmatively disclose to the City all such convictions, especially of management personnel or the Bidders as an entity, prior to notice of award or execution of a contract, whichever comes first. Failure to make such affirmative disclosure shall be grounds, in the City's sole option and discretion, for termination for default subsequent to award or execution of the contract.
- If the Bidders will be unable, financially or otherwise, to perform the work.
- At the time of the Bid opening, the Bidder is not authorized to do business in Georgia, or otherwise lacks a necessary license, registration or permit.
- Any other reason deemed proper by the City.

#### **NON-ENDORSEMENT**

As a result of the selection of a vendor to supply products and/or services to the City of Commerce, the City of Commerce is neither endorsing nor suggesting that the vendor's product is the best or only solution. The vendor agrees to make no reference to the City of Commerce in any literature, promotional material, brochures, sales presentation or the like without the express written consent of the City of Commerce.

#### **PROPRIETARY BID MATERIAL**

Any information contained in the Bid that is proprietary will be neither accepted nor honored. All information contained in this Bid is subject to public disclosure.

#### **RESPONSE PROPERTY OF THE CITY OF COMMERCE**

All material submitted in response to this request become the property of the City of Commerce. Selection or rejection of a response does not affect his right.

## **NO OBLIGATION TO BUY**

The City of Commerce reserves the right to refrain from contracting with or purchasing from any vendor. The release of this Bid does not compel the City of Commerce to purchase.

## **COST OF PREPARING BIDS**

The City of Commerce is not liable for any cost incurred by vendors in the preparation and presentation of Bids and demonstrations submitted in response to this Bid.

## **NUMBER OF BID COPIES REQUIRED**

Vendors are to submit (1) original Bid and (1) copy. Your submittal must have a signature in its "**original form**".

## **ADDENDA**

Bidders are responsible to check the City of Commerce's website for the issuance of any addenda prior to submitting a Bid. The address is [www.commercega.org](http://www.commercega.org)

## **BID AWARD AND EXECUTION**

The City will select the Bid that, in its sole discretion, is the most responsive and responsible Bid to the City. The City reserves the right to make any award without further discussion of the Bid submitted; there may be no best and final offer procedure. Therefore, the Bid should be initially submitted on the most favorable terms the vendor can offer. The specification may be altered by the City of Commerce based on the vendor's Bid and an increase or reduction of services with the manufacturer may be negotiated before Bid award and execution.

## **BID REQUIREMENTS/EVALUATION CRITERIA**

The City will evaluate all written submittals. It is incumbent upon the Bidders to demonstrate within their Bids how each requirement will be satisfied. All Bids must meet the specification as outlined in this Bid. The City reserves the right to investigate the qualifications and experience of the Bidders, or to obtain new Bids. Bids not sufficiently detailed or in an unacceptable form may be rejected by the City. Dates and documentation included in the Bid become public information upon opening the Bids. Interested firms must follow the process outlined in the following pages in submitting their Bid.

The following criteria, not limited to or listed in order of importance, will be used to evaluate Bids.

- Terms, condition, and pricing.
- Cost of amenities available for the product(s).
- Ability to carry out project.
- Experience and capacity to complete project within allowed time frame (firm qualifications should be submitted with bid response).

## **BIDDER INSURANCE REQUIREMENTS**

- Bidder must provide evidence, satisfactory to the City, of the following insurance requirements:
  - Owner requires the Contractor to have and maintain the following insurance coverage and indemnification provisions with the City of Commerce named as an additional insured hereunder.
  - The Contractor agrees to provide and maintain insurance coverage until the contract is

completed and to furnish certificates from its insurance carriers showing that it carries insurance in the following minimum limits:

<b><u>Commercial General Liability</u></b>	
Each Occurrence	\$1,000,000
Personal & Advertising Injury	\$1,000,000
Medical Expense Any One Person	\$5,000
Damage to Rented Premises	\$50,000
Products (Completed / Operations Aggregate)	\$2,000,000
<b><u>Auto Liability (Incl bodily injury &amp; property damage)</u></b>	
Combined Single Limit per Accident	\$1,000,000
<b><u>Excess / Umbrella Liability</u></b>	
Each Occurrence	\$1,000,000
Aggregate	\$1,000,000
<b><u>Workers Compensation and Employers Liability</u></b>	
WC - Each Employee	Statutory
Employer's Liability - Each Employee	\$1,000,000
Employer's Liability - Each Accident	\$1,000,000

○ Proof of Insurance

Contractor shall furnish the Owner with certificates showing the type, amount, class of operations covered, effective dates, and date of expiration of policies. Such certificates shall also contain substantially the following statement: The insurance covered by this certificate will not be cancelled or materially altered, except after thirty (30) days written notice has been received by the Owner.

**RESPONSIBILITIES OF THE BIDDER**

The Bidder, at its sole expense shall:

- Deliver, install, test and adjust product.
- Repair or replace inoperable items within 48 hours of notification by the City.
- Comply with all laws, ordinances, regulations, requirements and rules with respect to the maintenance of the (product).
- *This is a Section 3 Covered Project under the HUD Act of 1968 and Section 3 Residents and Business Concerns are encouraged to apply.*
- All contractors must include a completed (as well as signed and notarized) Section 3 Business Concern, Previous Certificate of Compliance and Action Plan upon project award.

## **HOUSING AND URBAN DEVELOPMENT REQUIREMENTS: Section 3 of the HUD Act of 1968, as amended**

- A The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD• assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- B The parties to this contract agree to comply with HUD's regulations in 24 CFR part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations.
- C The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.
- D The contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.
- E The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.
- F Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.
- G With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

\*\*The City of Commerce is an equal opportunity owner/employer and will not discriminate against any vendor because of race, creed, color, religion, sex, national origin, or ADA disability status.

CONTRACTOR ACKNOWLEDGEMENT OF SPECIAL TERMS AND CONDITIONS

Recipient acknowledges that they have reviewed and will comply with the special terms and conditions as stated above.

Signed, sealed, and delivered

\_\_\_\_\_  
In the presence of:

(Name of Company)

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_

(Person authorized to sign binding contract)

Title: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

Commission Expires: \_\_\_\_\_

Attest: \_\_\_\_\_

(Officer of Company if Corporation)

Title: \_\_\_\_\_

**Bid Packet/Project:** City of Commerce Bid No. 20-005  
Rehabilitation/New Construction Project

**Project Information: Attendance Required to Bid**

- 942 State Street (Rehab). Site Visit: November 13, 2019 @ 9:00 AM
- 2960 Old Maysville Rd (Rehab). Site Visit: November 13, 2019 @ 11:30 AM
- 80 Pine Avenue(New Construction). Site Visit: November 13, 2019 @ 1:00 PM  
Commerce, GA 30549

**Grant Manager:** Theresa L. Dyer  
[tdyerhdri@gmail.com](mailto:tdyerhdri@gmail.com)

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2960 Old Maysville Road Work-Write-Up	Attachment
80 Pine Avenue House Plans & Report	Attachment

Notes: \_\_\_\_\_  
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**BID OPENING CONDITIONS Bid No. 20-005**

You are invited to submit a proposal for improvements listed on the attached Bid and Proposal Form for the project titled: City of Commerce Bid No. 20-005, Rehabilitation/New Construction Project

- 1. Should you submit a bid, it must be delivered to this location in a *sealed* envelope clearly labeled City of Commerce Bid No. 20-005, Rehabilitation/New Construction Project

<b><u>Postal Return Address:</u></b> City of Commerce Attn: Jordan Shoemaker Planning and Zoning Administrator Commerce, GA 30529	<b><u>Courier Delivery Address:</u></b> City of Commerce Attn: Jordan Shoemaker Planning and Zoning Administrator Commerce, GA 30529
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No later than 1:30 pm on December 2, 2019, at which time bids will be opened and publicly read.

- 2. You are requested to complete IN FULL and submit 1 original and 1 copy for each of the enclosed “Bid and Proposal Form”.

The apparent low bidder shall be responsible for submitting a detailed unit cost and line item cost/budget analysis, for each task listed on the architectural and civil engineering plans titled CHIP Owner-Occupied Rehabilitation Project with the address for each project. The stated information shall be due with the submission of the bid, no grace period will be given for response.

**Failure to provide unit cost and line item cost for each task will result in the bid being deemed non-responsive and the next lowest bidder will be given the opportunity to provide the information.**

- 3. Please submit copies of a current State of Georgia Contractor’s License and proof of insurance.
- 4. **A mandatory pre-bid conference and facility visit will be conducted on Wednesday, November 13, 2019.. The conference will begin at 9:00 AM at the 942 State Street location. The second site visit will begin at 11:30 AM at the 2960 Old Maysville location. The final site visit will begin at 1:00 PM at the 80 Pine Avenue location. Contact Theresa Dyer confirming attendance [tdyerhdri@gmail.com](mailto:tdyerhdri@gmail.com).**
- 5. Under no circumstance will any project information be released prior to the mandatory meeting.
- 6. After the walk-through, should you have any questions or concerns about any of the items listed on the architectural or site plans, please “Reply All” to the group email PRIOR to bidding. Individual emails or phone calls to the Developer, Grant Manager, or the City will receive no response.
- 7. You are reminded to bid only on the items designated on the plans.

- 8. The Contractor Is Responsible for Verification of All Quantities. The contractor is cautioned to verify site conditions and quantities prior to submitting a price quote. Project change orders will not be approved due to items missed by contractor.**
9. The General Requirements, Universal Design Features, and Visitability Requirements provided, will be applicable to this contract.
10. The City reserves the right to accept or reject any and all BIDS and waive formalities in the best interest of the City of Commerce and/or Developer. The City reserves the right to reject any BIDS that does not represent a complete response.
11. The submitting contractor is solely responsible to ensure timely delivery of its BID package. The City and/or Developer will not be responsible for failure of service on the part of the U.S. Postal Service, commercial courier company or other delivery method.
12. The City and/or Developer are not liable for any expenses incurred in connection with the preparation of a response to this BID.
13. Once opened, the BID becomes the property of the City and will not be returned to the contractor. Upon opening, the proposal becomes public record and shall be subject to public disclosure in accordance with Georgia Open Records Act O.C.G.A. 50-18-70 et seq., or other applicable laws.
14. Bids may be withdrawn at any time prior to the Bid opening. After Bids have been publicly opened, withdrawal of a Bid shall be based upon the following:

The Bidders shall give notice in writing of his claim of right to withdraw his Bid due to an error within two business days after the conclusion of the Bid opening procedure. Bids may be withdrawn from consideration if the price is substantially lower than the other Bids due solely to a mistake therein, provided the Bid was submitted in good faith, and the mistake was a clerical mistake as opposed to a judgment mistake, and was actually due to an unintentional arithmetic error or an unintentional omission of a quantity of work, labor or material made directly in the compilation of the Bid, which unintentional arithmetical error or unintentional omission can be clearly shown by objective evidence drawn from inspection of original work papers, documents and materials used in the preparation of the Bid sought to be withdrawn. The Bidder's original papers shall be the sole acceptable evidence of error and mistake if he elects to withdraw his Bid. If a Bid is withdrawn under the authority of this provision, the lowest remaining responsive Bid shall be deemed to be the low Bid.

15. All bid prices shall be firm for 90 days.

**CITY OF COMMERCE**  
**INVITATION TO BID**  
**BID No.20-005**  
**((Rehabilitation/New Construction Project)**  
**WORK WRITE-UP:**  
**942 STATE STREET (Rehab)**  
**2960 OLD MAYSVILLE ROAD (Rehab)**  
**80 PINE AVENUE (New Construction)**  
**(Bid Certification)**

Bidders must return the following certification with their Bids.

With my signature, I certify that I am authorized to commit my firm to the Bid and that the information herein is valid for 90 days from this date.

I further certify that all information presented herein is accurate and complete and that the scope of work can be performed as presented in this Bid upon the City's request.

Bidders Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_ Title \_\_\_\_\_

Unofficial Witness Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_ Title \_\_\_\_\_

Company \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

Email Address \_\_\_\_\_

\_\_\_\_\_  
Notary Public  
Commission Expires: \_\_\_\_\_

**CITY OF COMMERCE**  
**INVITATION TO BID**  
**BID No.20-005**  
**((Rehabilitation/New Construction Project))**  
**WORK WRITE-UP:**  
**942 STATE STREET (Rehab)**  
**2960 OLD MAYSVILLE ROAD (Rehab)**  
**80 PINE AVENUE (New Construction)**  
**(Bid Certification)**

This form must be completed and signed for bid to be considered.

<b><u>Postal Return Address:</u></b> City of Commerce Attn: Melinda McIver, City Clerk 4614 S. Coastal Highway Commerce, GA 31323	<b><u>Courier Delivery Address:</u></b> City of Commerce Attn: Melinda McIver, City Clerk 4614 S. Coastal Highway Commerce, GA 31323
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Bid Response:

Price: \$ \_\_\_\_\_

Having read and responded to all attached specifications, the undersigned offers the above quoted prices, terms and conditions.

Signed, sealed, and delivered

\_\_\_\_\_  
In the presence of:

(Name of Company)

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_  
(Person authorized to sign binding contract)

Title: \_\_\_\_\_

\_\_\_\_\_  
Notary Public  
Commission Expires: \_\_\_\_\_

Attest: \_\_\_\_\_  
(Officer of Company if Corporation)

Title: \_\_\_\_\_

**BID AND PROPOSAL FORM**  
**Bid No. 20-005**  
**Owner-Occupied Rehabilitation Project**  
**942 State Street**

Submitted By: \_\_\_\_\_ Date: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

GA State Contractors License Number: \_\_\_\_\_

I, the undersigned contractor, having inspected the property and familiarized myself with the requirements of the architectural plans for Chatham Homes, and understand the extent and character of the work to be performed. I propose to furnish all labor, materials and equipment necessary to accomplish **ALL HOUSING CONSTRUCTION PER ATTACHED BID DOCUMENT** required by the City of Commerce/ and or the Developer with the following exceptions:

\_\_\_\_\_  
(If no exceptions, so state)

LABOR COST: \_\_\_\_\_

MATERIAL COST: \_\_\_\_\_

I will be using the following subcontractors, if necessary:

Electrical Contractor and License #: \_\_\_\_\_

Plumbing Contractor and License #: \_\_\_\_\_

HVAC Contractor and License #: \_\_\_\_\_

I will commence work within 10 consecutive days from the date of award and/or execution of the contract and will complete the work within 150 calendar days after No Notice of Commencement.

\_\_\_\_\_  
Contractor Signature, Title Date

\_\_\_\_\_  
Notary

**BID AND PROPOSAL FORM**  
**Bid No. 20-005**  
**Owner-Occupied Rehabilitation Project**  
**2960 Old Maysville Road**

Submitted By: \_\_\_\_\_ Date: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

GA State Contractors License Number: \_\_\_\_\_

I, the undersigned contractor, having inspected the property and familiarized myself with the requirements of the architectural plans for Chatham Homes, and understand the extent and character of the work to be performed. I propose to furnish all labor, materials and equipment necessary to accomplish **ALL HOUSING CONSTRUCTION PER ATTACHED BID DOCUMENT** required by the City of Commerce/ and or the Developer with the following exceptions:

\_\_\_\_\_  
(If no exceptions, so state)

LABOR COST: \_\_\_\_\_

MATERIAL COST: \_\_\_\_\_

I will be using the following subcontractors, if necessary:

Electrical Contractor and License #: \_\_\_\_\_

Plumbing Contractor and License #: \_\_\_\_\_

HVAC Contractor and License #: \_\_\_\_\_

I will commence work within 10 consecutive days from the date of award and/or execution of the contract and will complete the work within 150 calendar days after Notice of Commencement. BID AND PROPOSAL FORM

\_\_\_\_\_  
Contractor Signature, Title Date

\_\_\_\_\_  
Notary

**BID AND PROPOSAL FORM**  
**Bid No. 20-005**  
**Single-Family Demolition/Asbestos Abatement Project**  
**80 Pine Avenue**

Submitted By: \_\_\_\_\_ Date: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

GA State Contractors License Number: \_\_\_\_\_

I, the undersigned contractor, having inspected the property and familiarized myself with the requirements of the architectural plans for Chatham Homes, and understand the extent and character of the work to be performed. I propose to furnish all labor, materials and equipment necessary to accomplish **ALL SITE DEVELOPMENT CONSTRUCTION PER ATTACHED BID DOCUMENT** required by the City of Commerce/ and or the Developer with the following exceptions:

\_\_\_\_\_  
(If no exceptions, so state)

LABOR COST: \_\_\_\_\_

MATERIAL COST: \_\_\_\_\_

I will be using the following subcontractors, if necessary:

Electrical Contractor and License #: \_\_\_\_\_

Plumbing Contractor and License #: \_\_\_\_\_

HVAC Contractor and License #: \_\_\_\_\_

I will commence work within 10 consecutive days from the date of award and/or execution of the contract and will complete the work within 150 calendar days after Notice of Commencement.

\_\_\_\_\_  
Contractor Signature, Title Date

\_\_\_\_\_  
Notary

**BID AND PROPOSAL FORM**  
**Bid No. 20-005**  
**Single-Family Reconstruction Project (New Construction)**  
**80 Pine Avenue**

Submitted By: \_\_\_\_\_ Date: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

GA State Contractors License Number: \_\_\_\_\_

I, the undersigned contractor, having inspected the property and familiarized myself with the requirements of the architectural plans for Chatham Homes, and understand the extent and character of the work to be performed. I propose to furnish all labor, materials and equipment necessary to accomplish **ALL SITE DEVELOPMENT CONSTRUCTION PER ATTACHED BID DOCUMENT** required by the City of Commerce/ and or the Developer with the following exceptions:

\_\_\_\_\_  
(If no exceptions, so state)

LABOR COST: \_\_\_\_\_

MATERIAL COST: \_\_\_\_\_

I will be using the following subcontractors, if necessary:

Electrical Contractor and License #: \_\_\_\_\_

Plumbing Contractor and License #: \_\_\_\_\_

HVAC Contractor and License #: \_\_\_\_\_

I will commence work within 10 consecutive days from the date of award and/or execution of the contract and will complete the work within 150 calendar days after Notice of Commencement.

\_\_\_\_\_  
Contractor Signature,

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

\_\_\_\_\_  
Notary

## General Requirements

1. The report was prepared for the sole and confidential use of the above client. It may not be duplicated.
2. This write-up is to be completed in its entirety. Everything must be done, or a change order submitted.
3. All work must meet City, County, State of Georgia and Federal Code requirement as well as Manufacturer Installation Instructions.
4. Contractor questions must be in writing. No verbal reports are given for projects.
5. Contact is Theresa L. Dyer; email: [tdyerhdri@gmail.com](mailto:tdyerhdri@gmail.com)
6. Abbreviations:
  - a. lf=linear feet
  - b. ea=each
  - c. sf=square feet
  - d. sy=square yard
7. It shall be the responsibility of the contractor to validate exact measurements.
8. All work is to be done during regular work hours unless approved by the City.
9. The contractor is required to be present at the final inspection.
10. The contractor shall always keep the entire site free of rubbish and debris .
11. Any new wood, excluding framing members shall be primed before installation and then painted to cover completely and evenly without runs, sags or drips.
12. New pressure treated wood will not be painted.
13. All products installed on the home must be lead free.
14. Personal items should be safeguarded by moving or storing the items during the project.

## Universal Design Features

### *Entrances:*

1. Accessible parking convenient to dwelling [covered from the elements],
2. Accessible path of travel to dwelling from parking or drop off area [slope of 1:20 or less eliminates the necessity for handrails, except when needed by a specific individual],
3. At least one entrance without steps and flues or low-profile threshold,
4. Minimum 5 feet X 5 feet maneuvering space at stepless entrance,
5. 36-inch minimum exterior door with lever hardware,
6. Movement sensor light at entrance,
7. A sidelight or a peephole at 42 and 60 inches above the floor,
8. Ambient and focused lighting at keyhole,
9. High visibility address numbers.

### *General Interior:*

1. Hall width 42 inches minimum [interior accessible route is 36 inches],
2. Interior door width 32-inch minimum [requires 34 or 36-inch-wide door], equipped with lever hardware,
3. Flush transitions between floor surfaces [maximum of ½ -inch rise],
4. 5 pounds maximum force to open doors,
5. 18-inch minimum space at latch side of door,
6. 5-feet X 5-feet maneuvering space in each room [after furniture is placed],
7. Increased number of electrical outlets for additional lighting and alarm indicators, especially in bedrooms,
8. Electrical outlets at 18-inch minimum height,
9. Light switches 44 inches maximum above floor,
10. View windows at 36-inche maximum sill height and large enough to use as an escape route in the event of an emergency,

11. Crank operated [casement] or light weight sliding windows,
12. Closet rods adjustable from 30 inches to 66 inches above the floor,
13. Loop or other easy-to-use handle pulls on drawers and cabinets,
14. High contrast, glare free floor surfaces and trim,
15. Low pile carpet or smooth anti-slip flooring,
16. High-speed internet access data connection port and cabling.

*Bathrooms:*

1. 60-inch diameter turning circle,
2. 30-inch X 48-inch area of approach [forward or parallel, depending on fixture type] in front of all fixtures,
3. Toilet more usable by many if positioned in a 5-foot X 5-foot space with centerline 18 inches from sidewall,
4. 32-inch minimum lavatory counter height with lever faucet control,
5. Adaptable cabinets to reveal knee space under lavatory. Exposed piping in knee space should be padded or concealed,
6. When tub or shower are installed, select models designed to accept a portable bench or bathing seat,
7. Curb less or roll-in shower plus standard tub,
8. Offset single-lever controls in tub and shower to minimize stooping, bending and reaching,
9. Adjustable height hand-held shower head in addition to standard fixed shower head,
10. Anti-scald devices on all plumbing fixtures,
11. Enlarged reinforced areas around toilet and bathing fixture to provide secure mounting locations for grab bars and shower seats,
12. Mirror to backsplash at lavatory,
13. Contrasting color edge border at countertops.

*Kitchens:*

1. 60-inch diameter turning space,
2. 30-inch X 48-inch area of approach [forward or parallel, depending on fixture type] in front of all appliances,
3. Cooktop or range with front or side-mounted controls and staggered burners to eliminate dangerous reaching,
4. Front-mounted controls on washer and dryer,
5. Adaptable cabinets to reveal knee space [when needed] at sink and under work surface near cooking appliance,
6. Variable height sinks adjustable between 32 and 40 inches,
7. Exposed piping and any sharp or hot elements in any knee space should be padded or concealed,
8. Single-lever faucet controls,
9. Full height pantry cabinets for high and low storage,
10. Adjustable height shelves in wall cabinets,
11. Refrigerator/freezer with frozen food storage in the bottom or side-by-side refrigerator/freezer,
12. Variable height counter surfaces or adjustable through a range of 28 to 40 inches,
13. Base cabinets with pullout shelves or drawers,
14. Contrasting color edge border at countertops,
15. Microwave oven at countertop height with uninterrupted counter surface or pull out shelf to support the safe transfer of hot and /or heavy cookware,
16. Under cabinet glare free task lighting.

## VISITABILITY REQUIREMENTS

DCA Requirements: Georgia Single-Family Accessibility (O.C.G.A. §8-3-172)

Georgia Law requires Single-Family affordable housing projects awarded state or federal funds and constructed for individuals and families of low and very low incomes be constructed to be accessible. Specifically, at least one entrance door whether located at the front, side, or back of the building, must be on an accessible route served by a ramp or no- step entrance; and has to have at least a standard 36-inch door. In addition, on the first floor of the building, each interior door must be at least a standard door with 32-inch clearway, unless the door provides access only to a closet of less than 15 square feet in area; each hallway has a width of at least 36 inches and is level, with ramped or beveled changes at each door threshold; each bathroom wall is reinforced for installation of grab bars; **(for this project grab bars will be installed in the owners bath and the main bath will be reinforced for future grab bar installation)**; each electrical panel or breaker box, light switch, or thermostat is not higher than 48 inches above the floor; each electrical plug or other receptacle is at least 15 inches above the floor; and the main breaker box is located inside the building on the first floor. Local building codes remain in effect. If a local code requires greater accessibility than those required in state and federal law, then the local code must be followed. However, if a state or local code requires less accessibility than the state or federal law, then the state or federal law will prevail and must be followed.

## CDBG/CHIP WORK WRITE-UP SHEET

<b>GRANT RECIPIENT</b> City of Commerce	
<b>GRANT #</b> 2018-105	
<b>CDBG</b>	<b>CHIP X</b>
<b>OWNERS NAME:</b> Judy Harbin	
<b>ADDRESS:</b> 942 State Street	
<b>CITY:</b> Commerce	
<b>STATE:</b> GA	<b>ZIP:</b> 30529
<b>PHONE #:</b> 706-335-3775	
<b>INSPECTION DATE:</b> August 5, 2019	
<b>INSPECTOR:</b> Kevin Burnley	
<b>REHAB</b> X	<b>RECON</b> d <b>DEMO</b> d

**NOTE; ALL ITEMS IN THIS WORK WRITE-UP MUST MEET GEORGIA STATE BUILDING CODES, CDBG/CHIP PROGRAM STANDARDS, AND LOCAL RESIDENT COUNTY AND/OR CITY CODES. IN CASE OF ANY CONFLICT BETWEEN REQUIREMENTS, RESIDENT COUNTY AND/OR CITY CODES SHALL PREVAIL. THIS WORK WRITE-UP IS JUST A GENERAL DESCRIPTION OF WORK TO BE COMPLETED.**

**NOTICE: THE CONTRACTOR IS EXPECTED TO RETURN ALL AREAS DAMAGED OR DISTURBED IN THE PERFORMANCE OF ANY WORK TO A LEVEL OF FINISH COMMENSURATE WITH ORIGINAL.**

**NOTE : The Contractor Is Responsible For Verification of All Quantities**

**The contractor is cautioned to verify site conditions and quantities prior to submitting a price quote.**

Task #	SPECIFICATION	DCA Spec. #	Trade ID	Unit of Measure	No. of Units	Unit Cost	Line item Cost	
<b>Siding</b>								
1	Remove stains and dirt from siding using high pressure water and detergent mix. Adjust pressure to eliminate damage to wood grain.	2565	10	SF	3000			
2	Dispose of gutter. Install 5", K- type, seamless, .027 gauge aluminum gutter to service roof. White or brown color choice by owner.	4635	11	LF	191			
3	Dispose of downspout. Install 5", square, seamless, .027 gauge, white, aluminum downspout. Strap at least 3' on center.	4640	11	LF	120			
<b>Windows/Doors</b>								
4	Remove window components back to framing members with a minimum of damage to structure. Remove debris from site and haul to a legal landfill. Broom clean adjacent rooms.	706	5	EA	12			
5	Field measure, order and install a vinyl, single hung, double glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.	2980	10	EA	12			
6	Dispose of door and frame. Install a prehung metal, insulated, 6-panel entrance door and jamb including interior and exterior casing, spring metal weatherstripping, interlocking threshold, one entrance and one mortised deadbolt keyed alike. Prime and top coat. (rear garage and basement)	3185	10	EA	2			
<b>Roof</b>								
7	Replace chimney cap for wood burning stove and flash properly.	4745	11	EA	1			
<b>Termites</b>								

8	Termite Inspection & Report	8303	20	DU	1			
9	Exterminate for termites, injecting strongest legal insecticide down to footer every 16". Drill and patch pavement where necessary to maintain interval. Exterminator must be licensed and provide a 5 year guarantee.	8305	20	SF	1918			
<b>Electrical</b>								
10	Replace receptacle with a surfaced mounted ground fault circuit interrupt receptacle. (Kitchen and baths)	7583	19	EA	7			
11	Install a UL approved, ceiling mounted smoke and heat detector permanently wired into a receptacle box. At least one must also serve as a carbon monoxide detector per floor.	7810	19	EA	4			
<b>Plumbing</b>								
12	Install 2 piece, close coupled, white, vitreous china, comfort height commode. Include plastic white seat, plastic supply pipe, shut-off valve, flap valve and wax seal. Use 14" rough-in when replacing wall hung commode, and 12" rough-in to replace close coupled commode. (Master bath)	7010	18	EA	1			
<b>Flooring</b>								
13	Dispose of existing flooring. Install 0.70" vinyl sheet goods with a minimum of seams per manufacturer's recommendations. Caulk edges of vinyl with clear silicone. Install metal edge strips in openings and shoe molding or 4" vinyl base around perimeter. Or install FHA approved, nylon, plush carpet over a 1/2" medium density rebond pad w/ a minimum of seams. Stretch carpet to eliminate puckers, scallops, & ripples. Include tackless strips, metal edge strips, and mending tape to cover entire floor including closets. Owner to choose from in stock color of vinyl and carpet and has a choice of which rooms to install each flooring in. (Replace all carpet)	5965	16	SF	900			
<b>Interior</b>								
14	Allowance for rotten wood replacement. If contractor expects to exceed this amount a change order will be required prior to removal of defective wood.	735	5	EA	1			
15	Remove wood panels in living room area and any drywall needed to expose rotten wood around windows.	735	5	SF	400			
16	Cut back defective gypsum to expose half of the studs on each side of the hole. Cut and tightly fit drywall patch. Glue and nail or screw patch. Apply tape and 3 coats of compound feathered out at least 8". Wet sand ready for paint. (Living room area ceiling cracks)	5210	13	SF	100			
17	Apply knockdown texture ceiling at patched areas in ceiling to match current knockdown texture.	5225	13	SF	100			
18	Hang, tape and 3 coat finish 1/2" drywall. Apply a 3/8" bead of adhesive to framing member and screw or nail 8" on center. Wet sand ready for paint.	5280	13	SF	400			
19	Remove or cover hardware and accessories not to be painted. Scrape loose, peeling, cracked and blistered areas. Clean oil, grease, fungus, dirt and dust from surfaces. Fill holes and cracks. Prime all new materials and spot prime existing with acrylic latex. Top coat with owner's choice of premixed acrylic latex. Replace or uncover hardware, fixtures and accessories. (Living room area)	5485	15	SF	600			
<b>Exterior</b>								

20	Cut and remove tree to legal dump. Grind stump to 18" below grade. Install top soil and reseed all disturbed areas. (Two trees at left rear of property)	465	4	EA	2			
21	Excavate side of hill to allow space to arrange formwork. Place 8"x16" cont. strip footing. below frost line w/2-#2 rears 2.5" min. from edges. Build forms for walls, min 8" thick, w/a batter 7 deg. toward hill from horiz. Place #4 rebar 48" o.c. vert. & horiz. & tie into footing @ keyway. Pour & vibrate 2,500 psi conc. min. 3000 psi rec. Allow weep holes @48" o.c. @ lowest grade. Strip forms & backfill w/pea gravel. Restore topsoil & seed. (right side of structure near parking pad and around crawl door)	1050	6	SF	60			
22	Dispose of existing steps and landing. Construct a replacement unit with three 2"x 12" preservative treated pine stringers, 5/4" PTP stepping stock treads, on a solid concrete footer. Frame stairs 3' wide connecting to a 5'x 6' landing, of 2"x 6"s and 2"x 4" deck. Construct a wood handrail on one side 32" above tread nosing. (Front porch steps)	3590	10	EA	1			
23	Dispose of any existing railing. Construct a preservative treated pine railing using 2"x 4" top and bottom rails, and 2"x 2" balusters face nailed 6" on center. Create a 3'6" high railing between 4"x 4" end posts. (front porch rail does not meet code)	3525	10	LF	48			
24	Cover ground with drop cloth. Scrape loose, cracked, peeling, blistered paint from exterior trim. Dispose of chips properly. Feather edges & dull gloss with sandpaper. Rinse trim with hose and let dry. Caulk all cracks. Spot prime and top coat with owner's choice of acrylic latex semi-gloss. (paint new rail to match existing paint)	5676	15	LF	48			
25	Excavate a 16" wide by footer-depth trench at foundation wall, 4' beyond house corners. Allow foundation wall to dry. Apply 2 coats of asphalt-based water proofing to all exposed foundation surfaces. Lay a 4" perforated drain pipe, over 6 mil plastic to drain to one end of trench. Fill trench with size 57 gravel to near grade. Cover gravel with filter fabric and cover with top soil to grade level.	520	4	LF	44			
26	Excavate a 5-6" ditch at least 16 inches below ground. Lay 4" corrugated pipe on the bottom of the ditch. Fill ditch to near ground level with size 57 gravel. Install filter fabric over gravel then backfill with top soil to top of grade. Connect gutters to french drain.	520	4	LF	145			
27	Grade yard to achieve a slope away from foundation with at least 6" of fall in the first 10'. Slope to prevent water from ponding. Seed and mulch yard after grading is completed.	550	4	CY	15			
<b>Back Covered Deck</b>								
28	Remove deteriorated deck. Construct new deck using all treated lumber. Use 8"x 8" posts, 2"x 10" joists with 5/4" board floor. Floor joists shall be notched at band or hangers installed on all joists. 3 stringers shall be used on stairs with risers of equal height. Guard rails and handrails shall be installed 34"-38" inches high with balusters spaced apart to meet code requirement for height of deck. (Replace as many components as possible without removing the roof. Components include rails, steps, posts, deck boards, joists, etc. Bring deck up to current code)	3560	10	SF	220			

29	Hang Alside Conquest vinyl clapboard siding including all cornice, corner, door and window trim after replacing all deteriorated exterior building components. Wrap home with tyvek vapor/ infiltration barrier and apply owner's choice of siding color, exposure and texture with 50 year warranty. (Deck ceiling)	2640	10	SQ	2			
30	Replace missing or rotten trim with dimensional pine stock. Wrap all exposed trim with aluminum coil. (Fascia and soffit around deck)	2645	10	LF	52			
<b>Post Construction</b>								
31	Scrape old and new paint from glass with a razor blade without scratching glass. Clean both sides of prime and any storm window to eliminate all smears and dirt.	830	5	EA	12			
32	Remove all foreign material without damage to the original surface. Leave adjoining surfaces free of spills, splatters and marks. Floors shall be vacuumed or wet mopped. Glass and mirrors shall be cleaned and left without paint or film. Yards shall be raked and free of all nails, glass, and paint chips.	822	5	EA	1			

**Sub-Total**  
**P&O @20%**  
**TOTAL**


I acknowledge, agree, and consent that the above listed tasks, including sizes and materials are in accordance

\_\_\_\_\_ Date: \_\_\_\_\_

## CDBG/CHIP WORK WRITE-UP SHEET

<b>GRANT RECIPIENT:</b> City of Commerce	
<b>GRANT #</b> 2018-105	
<b>CDBG</b>	<b>CHIP X</b>
<b>OWNERS NAME:</b> Sam Buffington	
<b>ADDRESS:</b> 2960 Old Maysville Road	
<b>CITY:</b> Commerce	
<b>STATE:</b> GA	<b>ZIP:</b> 30529
<b>PHONE #:</b> 706-224-8914	
<b>INSPECTION DATE:</b> August 5, 2019	
<b>INSPECTOR:</b> Kevin Burnley	
<b>REHAB</b> X	<b>RECON</b> d <b>DEMO</b> d

**NOTE; ALL ITEMS IN THIS WORK WRITE-UP MUST MEET GEORGIA STATE BUILDING CODES, CDBG/CHIP PROGRAM STANDARDS, AND LOCAL RESIDENT COUNTY AND/OR CITY CODES. IN CASE OF ANY CONFLICT BETWEEN REQUIREMENTS, RESIDENT COUNTY AND/OR CITY CODES SHALL PREVAIL. THIS WORK WRITE-UP IS JUST A GENERAL DESCRIPTION OF WORK TO BE COMPLETED.**

**NOTICE: THE CONTRACTOR IS EXPECTED TO RETURN ALL AREAS DAMAGED OR DISTURBED IN THE PERFORMANCE OF ANY WORK TO A LEVEL OF FINISH COMMENSURATE WITH ORIGINAL.**

**NOTE : The Contractor Is Responsible For Verification of All Quantities**

**The contractor is cautioned to verify site conditions and quantities prior to submitting a price quote.**

Task #	SPECIFICATION	DCA Spec. #	Trade ID	Unit of Measure	No. of Units	Unit Cost	Line item Cost	
<b>Siding</b>								
1	Remove damaged vinyl siding to the joint over nearest stud. Apply matching vinyl siding to walls with galvanized nails. Break all seams over studs. Use existing siding removed at rear of structure in remodel to patch existing siding and newly purchased siding for the new section of exterior walls.	2585	10	SF	100			
2	Replace rotten wood at columns, caulk, and paint with exterior gloss paint.	3575	10	EA	3			
3	Dispose of gutter. Install 5", K- type, seamless, .027 gauge aluminum gutter to service roof. White or brown color choice by owner.	4635	11	LF	170			
4	Dispose of downspout. Install 5", square, seamless, .027 gauge, white, aluminum downspout. Strap at least 3' on center.	4640	11	LF	100			
5	Remove decking boards on front porch and replace as needed and repair joists as needed to make transition across porch smooth.	3575	10	SF	212			
6	Cover ground with drop cloth. Scrape all loose, cracked, peeling and blistered paint from front porch. Dispose of chips properly. Rinse all surfaces with a hose. Caulk and fill holes. Spot prime as needed and top coat foundation wall with owner's choice of paint.	5740	15	SF	212			
<b>Windows/Doors</b>								
7	Remove window and door components back to framing members with a minimum of damage to structure. Remove debris from site and haul to a legal landfill. Broom clean adjacent rooms.(rear door to deck and window where door will be added)	706	5	EA	2			

8	Field measure and install an aluminum screen and frame in window opening.	2820	10	EA	3			
<b>Roof</b>								
9	Remove and dispose of all roofing and felt down to sheathing. Cut a 1" wide vent at ridge board.	4580	11	SQ	20			
10	Remove the chimney to at least 6" below the roof line. Install a permanent cap on remaining portion of chimney. Resheath hole where chimney is removed with 1/2" CDX plywood. Finish using roofing materials to match existing as closely as possible.	1345	7	EA	1			
11	Run 2"x4" nailers perpendicular to joists/ studs at 2' o.c. Use CCA treated lumber at roof perimeter. Run 27-3/4" wide 28 gauge galvanized corrugated steel panels perpendicular to nailers w/24" max. exposure. Fasten panels at nailers w/ neoprene washed nails or self tapping screws 8" o.c. max. Seal open ends w/corrugated filler strips. Trim open sides @ gable w/ companion drip caps on roofs and o.c. corner on walls.	4592	11	SQ	20			
<b>HVAC</b>								
12	Connect flex duct to bath fan in hall bath and run to soffit. Install vinyl trim over exhaust vent at soffit.	6415	17	EA	1			
<b>Plumbing</b>								
13	Detach and reset toilet. Replace flange and wax ring. Make any repairs necessary to make toilet operable. If toilet is unable to be repaired, replace with a comfort height toilet of similar style.	7010	18	EA	1			
14	Replace tub fixtures including tub faucet, stopper, controller, and shower head.	7040	18	EA	1			
<b>Interior</b>								
15	Allowance for rotten wood replacement. If contractor expects to exceed this amount a change order will be required prior to removal of defective wood. (Laundry/Utility room)	735	5	EA	1			
16	Remove two columns in kitchen	735	5	EA	2			
17	Demo interior and exterior walls in rear of structure needed to make alterations in plan for remodel.	735	5	SF	108			
18	Repair casing around disappearing staircase, caulk, and paint.	4025	10	EA	1			
19	Remove subfloor in laundry room and frame up floor to make floor level with remaining structure.	2310	10	SF	42			
<b>Exterior</b>								
20	Pour concrete pad for driveway a minimum of 4" thick with 3000 psi or greater concrete. Pad shall go from the road to the back of the house on the left side and make a circle capable of being used as a turnaround before the large oak tree.	945	6	SF	2000			
21	Demolish entire rear deck and uncovered deck and ramp on left side at front including columns/posts, deck, railing/walls, substructure, lattice and steps and dispose of in code legal dump. Rake yard clean. Patch trim and siding matching as closely as possible in like kind.	755	5	SF	420			
22	Construct a replacement unit with three 2"x 12" preservative treated pine stringers, 5/4" PTP stepping stock treads, on a solid concrete footer. Frame stairs 3' wide connecting to a 5'x 6' landing, of 2"x 6"s and 2"x 4" deck. Construct a wood handrail on one side 32" above tread nosing. (Addition of steps where ramp was removed)	3590	10	EA	1			
<b>New Construction per plans</b>								

	<b>Footer</b>							
23	Excavate a square, straightened, trench below frost line to solid bearing. Form and pour a 3000 psi, 18"x9" deep footing reinforced with at least two #4 rebar securely wired and set on chairs. Remove forms after concrete has fully cured.	870	6	LF	14			
	<b>Foundation Wall</b>							
24	Construct an 8"x 16"x 8" thick, reinforced cement block wall with trowel cut joints, 1/2" exterior waterproof pargeting, and a solid cap block.	1110	7	SF	35			
	<b>Exterior/Interior Wall</b>							
25	Frame a wall with 2"x4" studs 16" on center with double top and single bottom plates.	2450	10	LF	27			
26	Staple 3-1/2" thick, R-13 fiberglass roll insulation to studs per manufacturer's specifications.	4905	12	SF	112			
	<b>Siding</b>							
27	Hang Alside Conquest vinyl clapboard siding including all cornice, corner, door and window trim after replacing all deteriorated exterior building components. Wrap home with tyvek vapor/ infiltration barrier and apply owner's choice of siding color, exposure and texture with 50 year warranty.	2640	10	SQ	1.25			
	<b>Floor Insulation</b>							
28	Install R-19 roll, fiberglass insulation to floor. Vapor barrier must face heated space. Use strong wire, "tiger teeth" or mesh to hold insulation in place.	4945	12	SF	45			
	<b>Windows/Doors</b>							
29	Install a prehung metal, insulated, half glass (tempered) entrance door and jamb including interior and exterior casing, spring metal weatherstripping, interlocking threshold, one entrance and one mortised deadbolt keyed alike. Prime and top coat.	3185	10	EA	1			
30	Field measure, order and install a vinyl, single hung, double glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.	2980	10	EA	2			
	<b>Plumbing</b>							
31	Install a Signature bath soaker walk-in tub (47Lx30Wx38H), PVC waste, and fixtures specific to this model tub."	6960	18	EA	1			
32	Install 2 piece, close coupled, white, vitreous china, comfort height commode. Include plastic white seat, plastic supply pipe, shut-off valve, flap valve and wax seal. Use 14" rough-in when replacing wall hung commode, and 12" rough-in to replace close coupled commode.	7010	18	EA	1			
33	Install a 24" vanity complete with plywood cabinet, cultured marble top, dual control, brass bodied, single lever faucet, supply risers, shut-off valves and all required waste connectors to complete the installation.	6900	18	EA	1			
34	Relocate existing electric water heater. Include pressure and temperature relief valve, discharge tube to within 6" of floor or to outside of structure, shut-off valve and electric supply.	7085	18	EA	1			
35	Install CPVC or PEX water supply lines to fixtures. Install to manufacturer guidelines. Size pipe to current local and/or state code. Install PVC or brass shut off valves at all fixtures.	6625	18	LF	75			

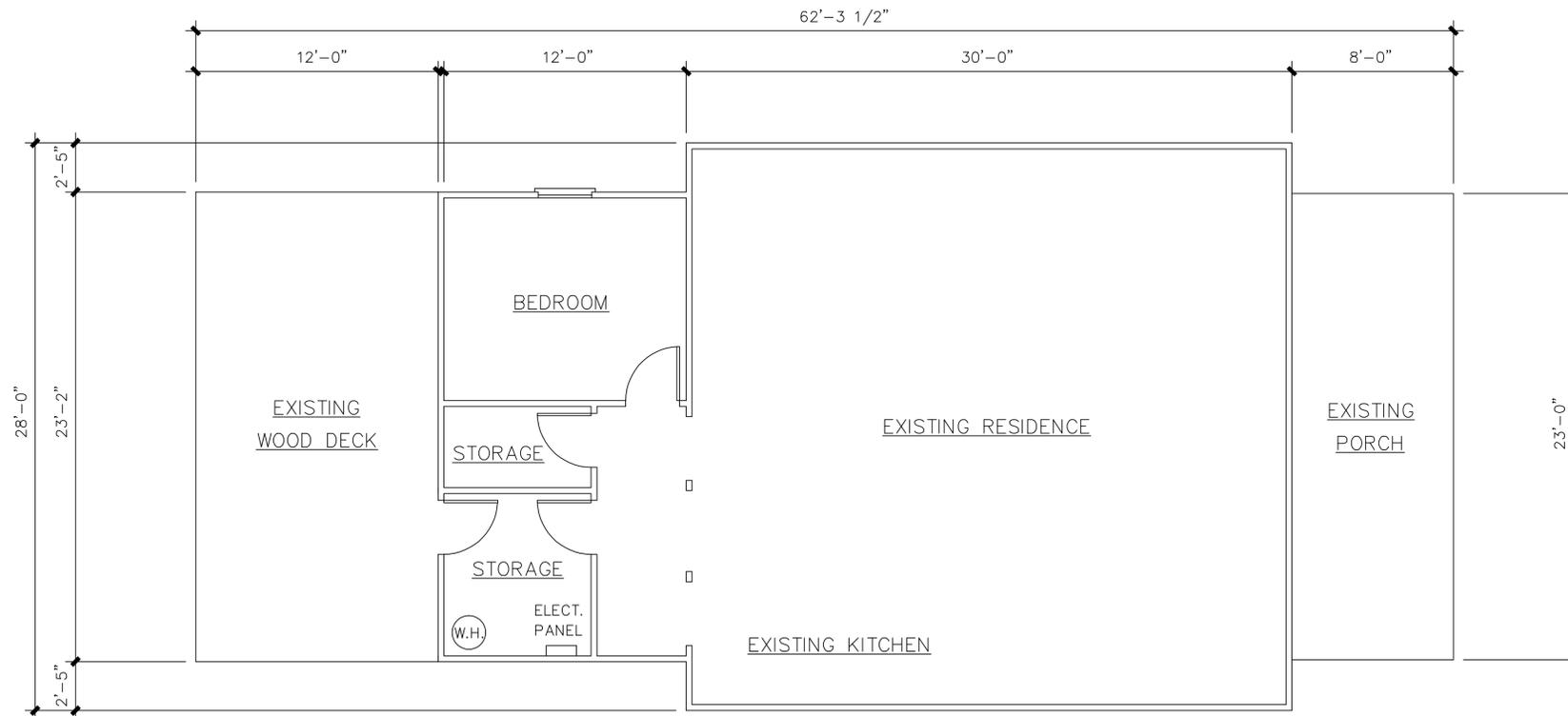
36	Install schedule 40 PVC pipe and fittings, solvent welded after a dyed cleaning step. Install pipe with hangers 3' on center without critical damage to structural members. Install to current local and/or state code.	6715	18	LF	40			
37	Dispose of existing washing machine and tub drain, vent, and supply piping. Install new pipes inside wall. Use CPVC or PEX pipe for supply and PVC for drain and vent pipe.	7165	18	EA	1			
<b>Electrical</b>								
38	Allowance for lighting fixtures.	C16600	40	AL	1			
39	Rewire unit to current National Electric Code including but not limited to: surface mount GFCI in bathroom & kitchen; 15 amp grounded receptacles on all usable walls; switched lights in all halls, kitchens, bathrooms and furnace areas; hard wired smoke detectors; cover plates; counter receptacles; and circuits. Fish all wire and repair all tear out. Does not include service entrance.	8110	19	RM	5			
40	Bath Fan	7045	18	EA	1			
<b>Drywall</b>								
41	Hang, tape and 3 coat finish 1/2" drywall. Apply a 3/8" bead of adhesive to framing member and screw or nail 8" on center. Wet sand ready for paint.	5280	13	SF	400			
<b>Trim Carpentry/Interior Doors</b>								
42	Allowance for trim material and labor	4025	10	AL	1			
43	Install interior doors. For hinged doors install 6-panel, hollow core door, or good used stripped 6 panel door, on existing jamb. Include privacy lockset and 3 butt hinges. For sliding doors use 6-panel, hollow core doors with new track and door hardware. If doors and/or hardware are in good condition contractor can reuse at contractor's discretion.	3355	10	EA	4			
<b>Paint</b>								
44	Remove or cover hardware and accessories not to be painted. Scrape loose, peeling, cracked and blistered areas. Clean oil, grease, fungus, dirt and dust from surfaces. Fill holes and cracks. Prime all new materials and spot prime existing with acrylic latex. Top coat with owner's choice of premixed acrylic latex. Replace or uncover hardware, fixtures and accessories.	5485	15	SF	396			
<b>Flooring</b>								
45	Dispose of existing flooring. Install 0.70" vinyl sheet goods with a minimum of seams per manufacturer's recommendations. Caulk edges of vinyl with clear silicone. Install metal edge strips in openings and shoe molding or 4" vinyl base around perimeter. Or install FHA approved, nylon, plush carpet over a 1/2" medium density rebond pad w/ a minimum of seams. Stretch carpet to eliminate puckers, scallops, & ripples. Include tackless strips, metal edge strips, and mending tape to cover entire floor including closets. Owner to choose from in stock color of vinyl and carpet and has a choice of which rooms to install each flooring in.	5965	16	SF	396			
<b>Accessories</b>								
46	Install shower rod, toilet paper holder, towel rack, mirror, and any other necessary bathroom hardware	3845	10	EA	1			

47	Install 12" vinyl clad wire shelving with integral clothes rod, cut to width of closet and capped. Use manufacturer's hardware and installation method.	4020	10	LF	13			
<b>Post Construction</b>								
48	Scrape old and new paint from glass with a razor blade without scratching glass. Clean both sides of prime and any storm window to eliminate all smears and dirt.	830	5	EA	2			
49	Remove all foreign material without damage to the original surface. Leave adjoining surfaces free of spills, splatters and marks. Floors shall be vacuumed or wet mopped. Glass and mirrors shall be cleaned and left without paint or film. Yards shall be raked and free of all nails, glass, and paint chips.	822	5	EA	1			

**Sub-Total**  
**P&O @20%**  
**TOTAL**

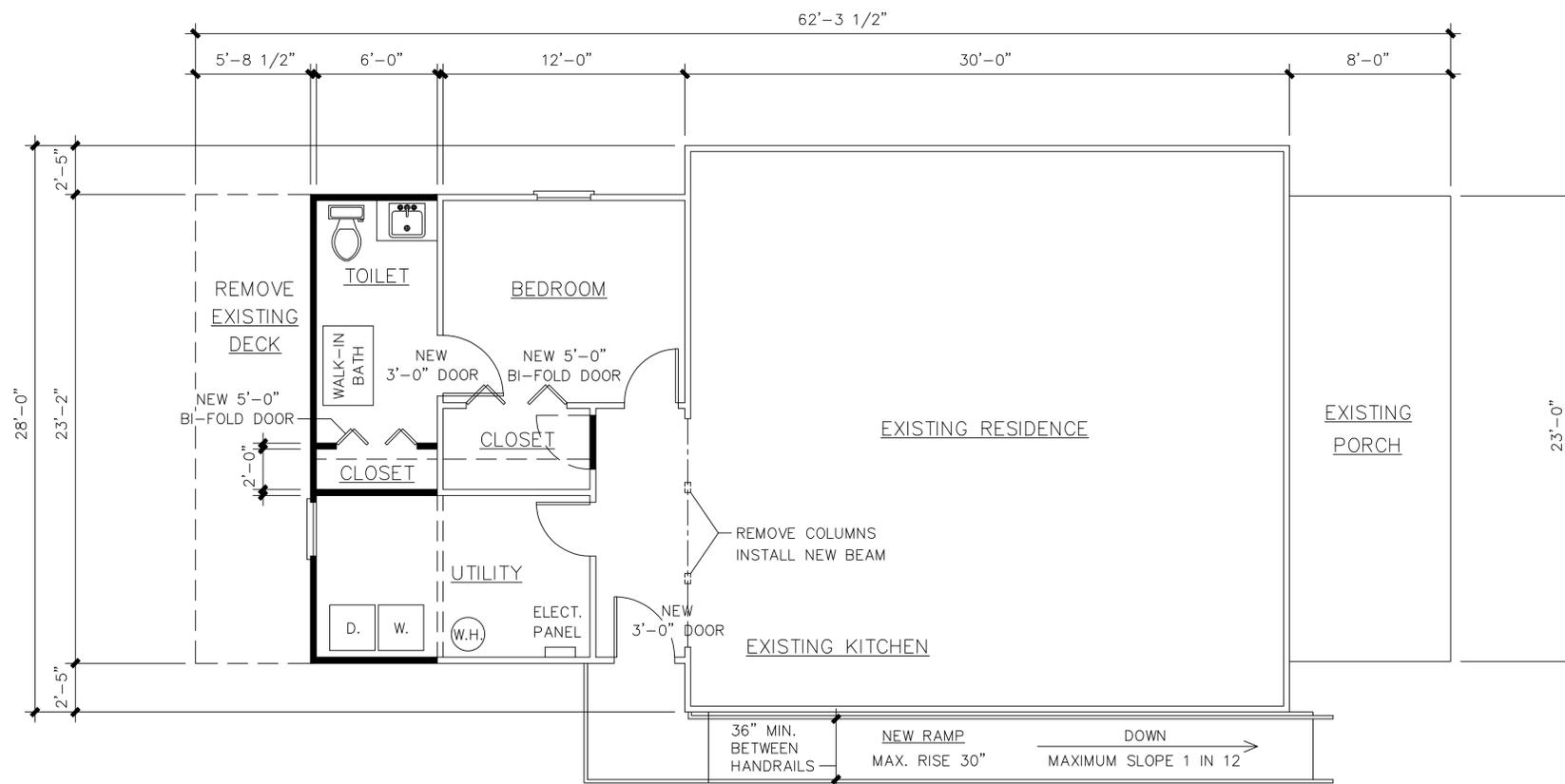

I acknowledge, agree, and consent that the above listed tasks, including sizes and materials are in accordance

\_\_\_\_\_ Date: \_\_\_\_\_



EXISTING FLOOR PLAN

1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"

- ==== EXISTING WALLS
- ==== WALLS TO BE REMOVED
- ==== NEW WALLS



Architects  
 Gainesville Georgia 30501  
 770 534 0612

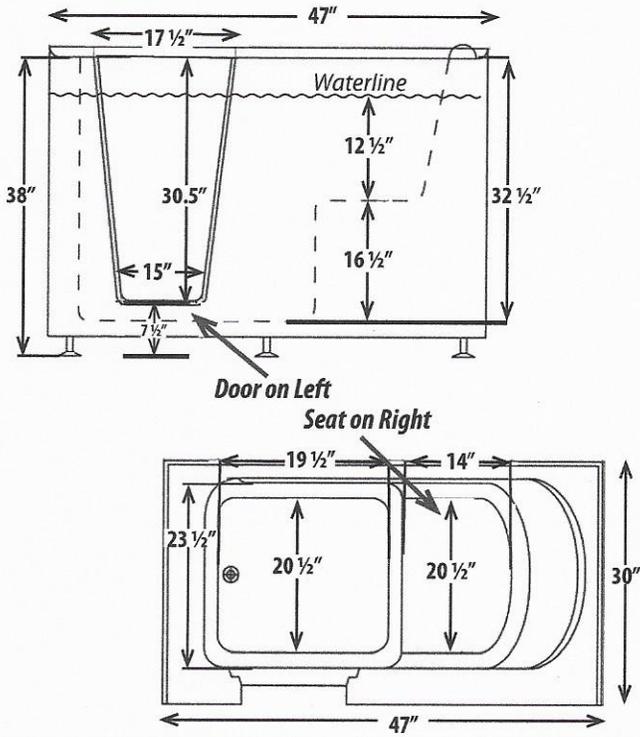
Bailey Associates

BUFFINGTON RESIDENCE  
 2960 OLD MAYSVILLE ROAD  
 COMMERCIE, GEORGIA

Project No 19042  
 Drawn By JKB  
 Checked By  
 Date NOV. 4, 2019  
 Revisions

A1

**47" Walk-In Bath**

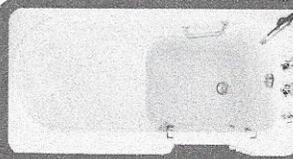


**SPECIFICATIONS**

<b>Exterior:</b> 47" L x 30" W x 38" H	<b>Interior:</b> 33 1/2" L x 23 1/2" W x 32 1/2" D	<b>Seat:</b> 16 1/2" H x 20 1/2" W x 14" D
<b>Floor:</b> 20 1/2" W x 19 1/2" D	<b>Gallon Capacity:</b> 43	<b>Step Height:</b> 7 1/2"
<b>Door Height:</b> 30 1/2"	<b>Door Width at Entry:</b> 15"	<b>Door Width at Top:</b> 17"
<b>Materials:</b> High Gloss Acrylic	<b>Color:</b> White	<b>Installation Method:</b> Alcove
<b>Standard Features</b>		
<i>All Models</i>	Integral Tile Flange on 3 Sides, Right or Left Hand Drain & Door with Water Tight Seal & Built in ADA Compliant Emergency Drain, Wall Mounted Safety Bar, Slip Resistant Floor & Seating, Slimline Drain Kit, Easy Reach Stainless Bath Fixtures in your choice of either Classic Double Cross Handles with handheld Shower Head or Modern Handles with Sleek Handheld Shower Wand.	
<i>Whirlpool Bath</i>	10 Stainless Steel Hydro-Massage Jets, Heat Stick Temperature Maintenance	
<i>Air Bath</i>	15 Stainless Steel Micro Massage Bubble Air Jets, Heated Blower	
<i>Luxury Bath</i>	Dual Therapy - Combination Whirlpool and Air Bath	
<b>Electrical Requirements for Whirlpool, Air &amp; Luxury Baths (Soaking Baths do not require electrical connection)</b>		
<i>Heat Stick</i>	<b>No Electricity Required</b> - Water temperature is maintained when pump is on (NOT AVAILABLE ON AIR BATHS)	
<i>Pump/Blower</i>	Dedicated 120V/20 Amp GFCI Protected Circuit	

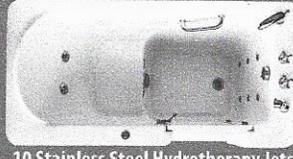
**NOTES**

- Controls are surface mounted near pump
- Hot water supply should be a minimum of 70% of bath capacity
- Signature Bath recommends installation by qualified professionals following installation instructions and applicable codes.
- Take measurements from the bath prior to commencing construction
- All measurements are subject to a variance of 1/8" +/-



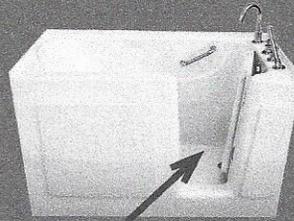
Soaking Walk-In Bath

**SB-47-WI-S**  
**Soaker Walk-In**



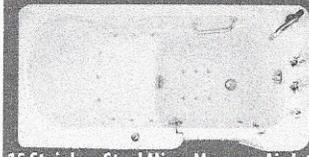
10 Stainless Steel Hydrotherapy Jets  
Heat Stick Temperature Maintenance

**SB-47-WI-W**  
**Whirlpool Walk-In**

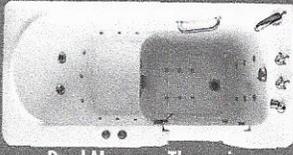


**Door on Right**  
**Seat on Left**

**SB-47-WI-A**  
**Air Walk-In**



15 Stainless Steel Micro Massage Air Jets  
Heated Blower



Dual Massage Therapies  
Whirlpool & Air Baths  
**COMBINED**

**SB-47-WI-L**  
**Luxury Walk-In**



# PROPOSED RESIDENCE FOR SINGLE FAMILY HOUSING DEVELOPMENT PROTOTYPE "D"

BAILEY ASSOCIATES, ARCHITECTS • P.O. BOX 3392 • GAINESVILLE, GEORGIA 30503 • (770) 534 0612

TRINITY ENGINEERING GROUP P.C. • 1081 THOMPSON BRIDGE RD • GAINESVILLE, GEORGIA 30501 • (770) 535 1044

## INDEX OF DRAWINGS

	<u>COVER</u>	<u>ARCHITECTURAL</u>	<u>ELECTRICAL</u>	<u>MECHANICAL</u>	<u>PLUMBING</u>														
	CS COVER SHEET	A-0.1 SCHEDULES AND DETAILS A-1.1 ARCHITECTURAL PLAN A-2.1 BUILDING ELEVATIONS S-1.1 BUILDING FOUNDATION PLAN	E-0.1 LEGEND, NOTES AND RISER E-1.1 ELECTRICAL POWER AND LIGHTING PLAN	M-0.1 MECHANICAL PLAN, SCHEDULES, NOTES, AND DETAILS	P-0.1 SCHEDULE, NOTES AND DETAILS P-1.1 PLUMBING SANITARY AND WATER PLAN														
<p><b>CODES</b> INTERNATIONAL BUILDING CODE 2012 EDITION INTERNATIONAL RESIDENTIAL CODE 2012 EDITION LIFE SAFETY CODE NFPA 101 2012 EDITION INTERNATIONAL FIRE CODE 2012 EDITION INTERNATIONAL PLUMBING CODE 2012 EDITION WITH GEORGIA AMENDMENTS INTERNATIONAL MECHANICAL CODE 2012 EDITION WITH GEORGIA AMENDMENTS NATIONAL ELECTRICAL CODE 2017 EDITION WITH GEORGIA AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE 2012 EDITION, WITH GEORGIA AMENDMENTS OCGA TITLES 25 AND 30 GEORGIA ACCESSIBILITY CODE</p>	<p><b>DEVELOPER</b> HOME DEVELOPMENT RESOURCES INC. PO BOX 461 JEFFERSON GA 30549 TEL: (706) 389-5222 CONTACT: THERESA DYER TDYERHDR1@GMAIL.COM</p>	<p><b>PROJECT CRITERIA</b></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 60%;">A. OCCUPANCY CLASSIFICATION:</td> <td>CLASS R</td> </tr> <tr> <td>B. TYPE OF CONSTRUCTION:</td> <td>TYPE II</td> </tr> <tr> <td>C. SPRINKLERED:</td> <td>NO</td> </tr> <tr> <td>D. ONE HOUR PROTECTED:</td> <td>NO</td> </tr> <tr> <td>E. BUILDING AREA IN SQUARE FEET:</td> <td>1,392 SQUARE FEET</td> </tr> <tr> <td>F. BUILDING HEIGHT IN FEET:</td> <td>8' 0"</td> </tr> <tr> <td>G. NUMBER OF STORIES:</td> <td>ONE</td> </tr> </table>				A. OCCUPANCY CLASSIFICATION:	CLASS R	B. TYPE OF CONSTRUCTION:	TYPE II	C. SPRINKLERED:	NO	D. ONE HOUR PROTECTED:	NO	E. BUILDING AREA IN SQUARE FEET:	1,392 SQUARE FEET	F. BUILDING HEIGHT IN FEET:	8' 0"	G. NUMBER OF STORIES:	ONE
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G. NUMBER OF STORIES:	ONE																		

**LIFE SAFETY & ACCESSIBILITY NOTES**

1. DOORS SHALL MEET THE REQUIREMENTS OF THE NFPA 101 LIFE SAFETY CODE.
2. THE FLOOR LEVEL SHALL BE THE SAME ON BOTH SIDES OF THE DOOR. THE ELEVATION SHALL BE MAINTAINED FOR A DISTANCE AT LEAST EQUAL TO THE WIDTH OF THE WIDEST LEAF OF THE DOORS. NFPA 101 LIFE SAFETY CODE.
3. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. RULE 120-3-20-24 (9) SHALL BE PROVIDED. GEORGIA ACCESSIBILITY CODE.

**PRINCIPLES OF UNIVERSAL DESIGN**

1. BUILDING AND STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PRINCIPLES OF THE UNIVERSAL DESIGN. THE DESIGN OF PRODUCTS AND ENVIRONMENTS TO BE USABLE BY ALL PEOPLE, TO THE GREATEST EXTENT POSSIBLE, WITHOUT THE NEED FOR ADAPTATION OR SPECIALIZED DESIGN.



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ENGINEER

**HOME DEVELOPMENT RESOURCES INC.**  
EXEC. DIRECTOR  
THERESA DYER

PROPOSED  
SINGLE FAMILY  
HOUSING DEVELOPMENT  
PROTOTYPE "D"

REVISION / ISSUE


JOB NUMBER

2018-100

DRAWN

KAH

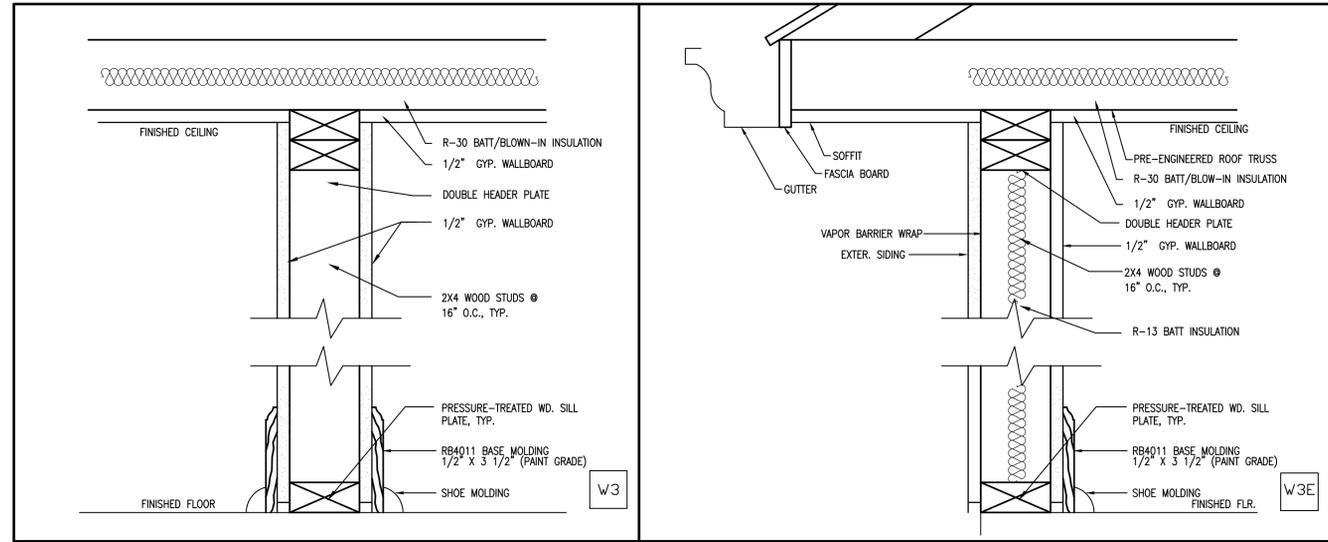
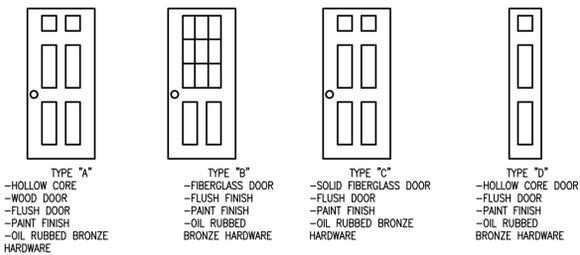
DATE

11/01/2019

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CS

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NO.	DOOR					THRES.	CLOSER	FRAME MAT.	NOTES
	WIDTH	HGT.	THK.	MAT.	TYPE				
D100	3'-0"	6'-8"	1 3/4"	FIBERGLASS	C	YES		HOL. MTL.	
D101	3'-0"	6'-8"	1 3/4"	FIBERGLASS	B	YES		HOL. MET.	
D102	3'-0"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D103	3'-0"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D104	4'-0"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D105									NOT USED
D106	2'-4"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D107	4'-0"	6'-8"	1 3/4"	HOLLOW WOOD	D			WOOD FRAME	BI-FOLD DOOR SECTION
D108	3'-0"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D109	2'-0"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D110	2'-6"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D111	2'-6"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D112	3'-0"	6'-8"	1 3/4"	HOLLOW WOOD	A			WOOD FRAME	
D113	4'-0"	6'-8"	1 3/4"	HOLLOW WOOD	D			WOOD FRAME	BI-FOLD DOOR SECTION
D114	3'-0"	6'-8"	1 3/4"	FIBERGLASS	B			WOOD FRAME	

SFTF - STOREFRONT GLASS  
 HSC - HINGED SWING DOOR  
 FL - FLAT FINISH DOOR  
 WD - WOOD CONSTRUCTION  
 ALUM - ALUMINUM  
 HC - HOLLOW CORE

NO.	WINDOW					FRAME			NOTES
	WIDTH	HGT.	THK.	MAT.	TYPE	THRES.	CLOSER	MAT.	
W100	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W101	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W102	8'-4"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W103	3'-0"	3'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W104	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W105	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W106	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W107	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W108	NOT USED								
W109	NOT USED								
W110	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W111	5'-8"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W112	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	
W113	3'-0"	5'-0"	1 3/4"	VNYL	-	YES	YES	WOOD	

SFTF - STOREFRONT GLASS  
 HSC - HINGED SWING DOOR  
 FL - FLAT FINISH DOOR  
 WD - WOOD CONSTRUCTION  
 ALUM - ALUMINUM  
 HC - HOLLOW CORE

NO.	SPACE NAME	FLOOR		BASE		WALL				CEILING		NOTES	
		MAT.	FIN.	MAT.	FIN.	MAT.	NORTH	EAST	SOUTH	WEST	MAT.		HGT.
100	COVERED PORCH	CONCRETE		--	PAINT	GYP.BD.	PAINT	PAINT	PAINT	PAINT	GYP.BD.	8'-0"	
101	DINING	VCT		BASE-2	PAINT	GYP.BD.					GYP.BD.	8'-0"	
102	KITCHEN	VCT		BASE-2	PAINT	GYP.BD.					GYP.BD.	8'-0"	
103	LIVING ROOM	VCT		BASE-2	PAINT	GYP.BD.					GYP.BD.	8'-0"	
104	LAUNDRY/PANTRY	VCT		BASE-2	PAINT	GYP.BD.					GYP.BD.	8'-0"	
105	MASTER BEDROOM	CARPET		BASE-1	PAINT	GYP.BD.					GYP.BD.	8'-0"	
106	MASTER BATH	VCT		BASE-2	PAINT	GYP.BD.					GYP.BD.	8'-0"	
107	BEDROOM	CARPET		BASE-1	PAINT	GYP.BD.					GYP.BD.	8'-0"	
108	BATH	VCT		BASE-2	PAINT	GYP.BD.					GYP.BD.	8'-0"	
109	BEDROOM	CARPET		BASE-1	PAINT	GYP.BD.					GYP.BD.	8'-0"	
110	COVERED PORCH	CONCRETE		--	PAINT	H. PLANK	PAINT	PAINT			B&B	8'-0"	
111	STORAGE	CONCRETE		BASE-3	PAINT	1/2" OSB	PAINT	PAINT	PAINT	PAINT	B&B	8'-0"	

NOTES:  
 FLOORS:  
 VCT-1:  
 VCT-2:  
 CER. TILE:  
 CONCRETE: SEALED CONCRETE FLOOR, SMOOTH FINISH  
 WALLS:  
 WALL-1: 1/2" GYP.BD.:  
 WALL-2: HARDI PLANK SIDING  
 WALL-3: 1/2" OSB PANELING, PRIMED AND PAINTED.  
 BASE:  
 BASE-1: WM623 (9/16" X 3 1/4"), PRIMED, PAINTED FINISH, CAULKED JOINTS  
 BASE-2: WM623 (9/16" X 3 1/4") & SHOE MOLD, PRIMED, PAINTED FINISH, CAULKED JOINTS  
 BASE-3: 5/4" BOARD, TREATED PINE, PRIMED & PAINTED.



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**HOME DEVELOPMENT RESOURCES INC.**  
 EXEC. DIRECTOR  
 THERESA DYER

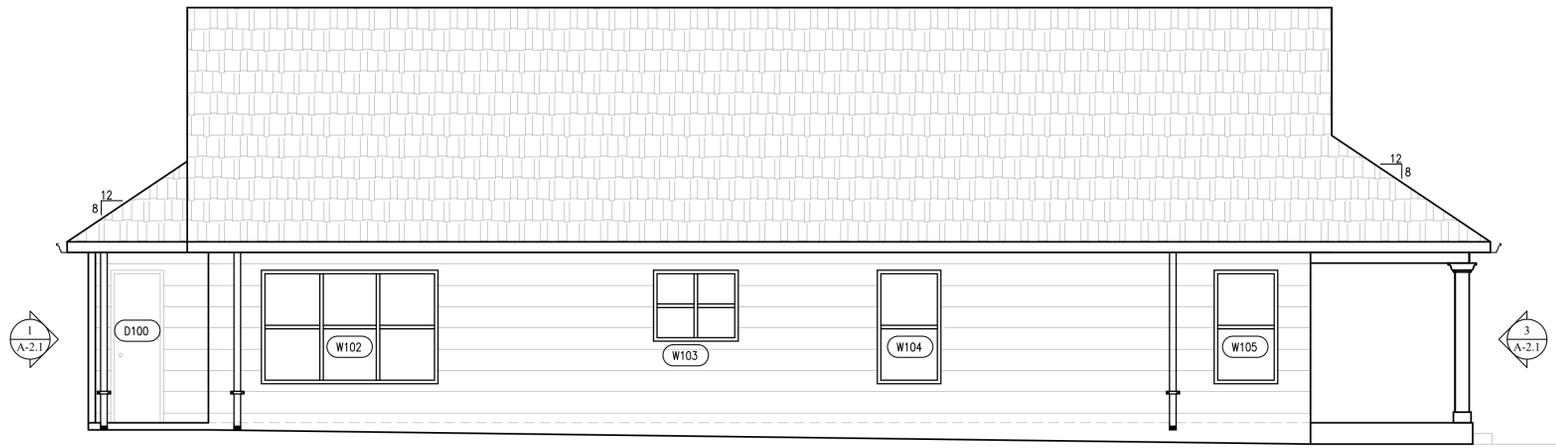
PROPOSED  
**SINGLE FAMILY HOUSING DEVELOPMENT**  
 PROTOTYPE "D"  
**SCHEDULES AND DETAILS**

REVISION / ISSUE


JOB NUMBER  
**2018-100**  
 DRAWN  
**KAH**  
 DATE  
**11/01/2019**  
 SHEET  
**A-0.1**



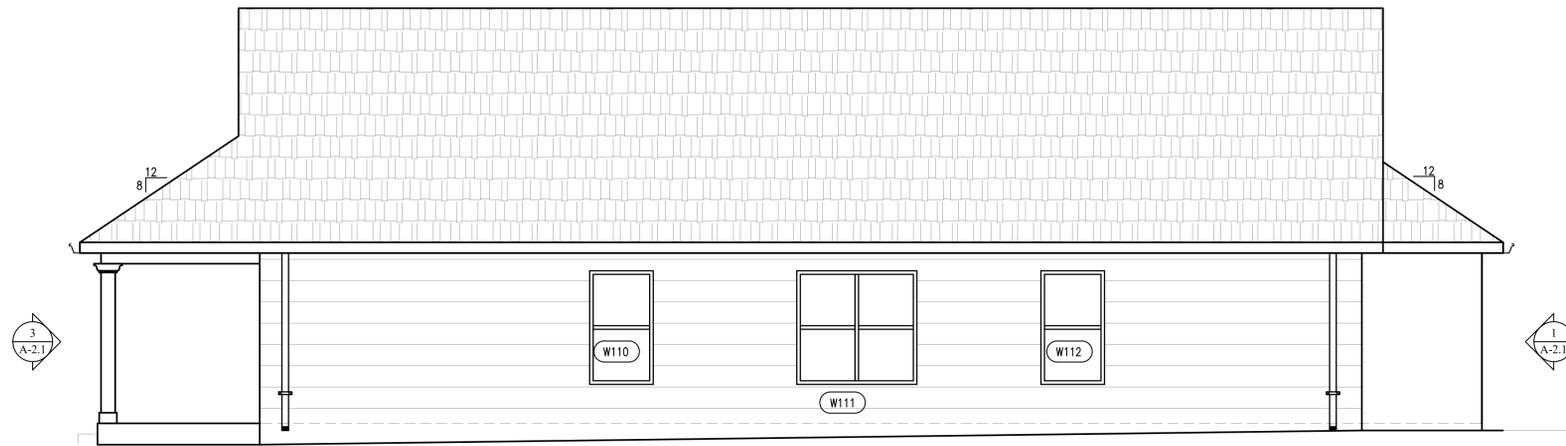
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 DIRECTOR: F:\2018-100 Jackson County NSP3 Program\ARCH  
 PLOT DATE: Nov 04, 2019  
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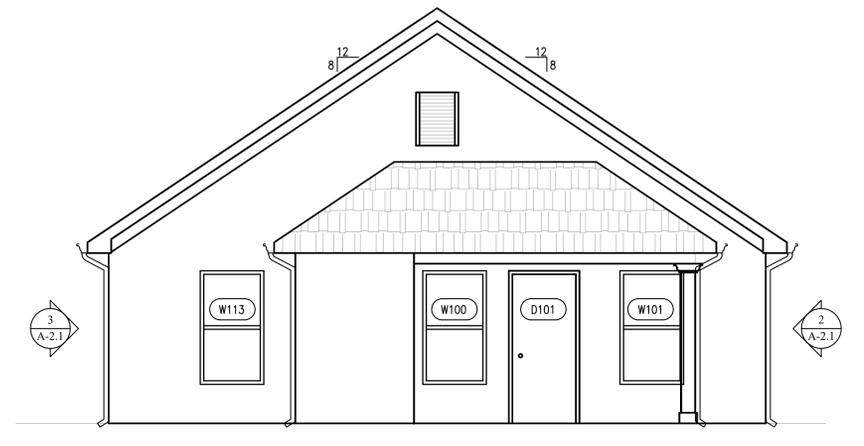
2 LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"



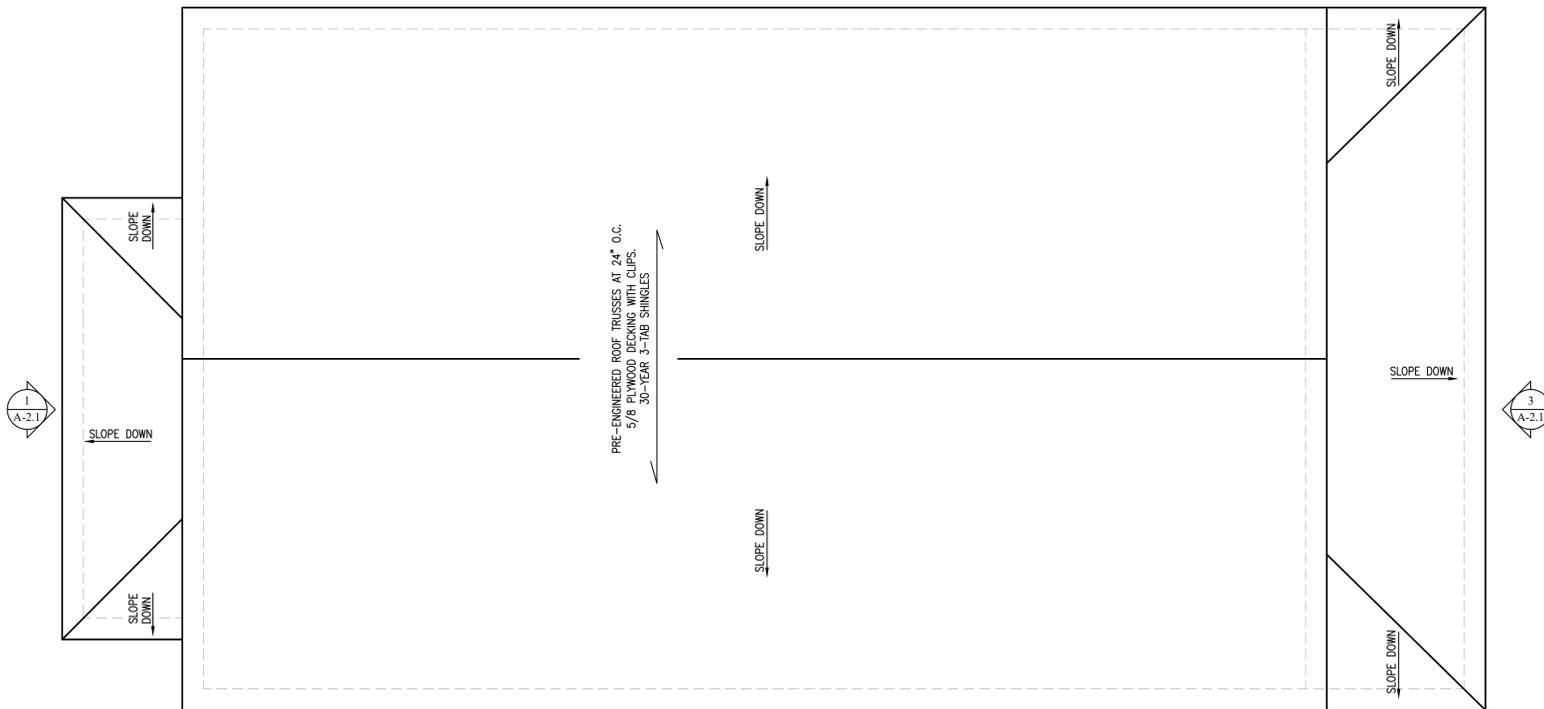
1 FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"



4 REAR ELEVATION  
 SCALE: 1/4" = 1'-0"



5 ROOF PLAN  
 SCALE: 1/4" = 1'-0"



SEAL 11.04.2019

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**HOME DEVELOPMENT RESOURCES INC.**  
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 THERESA DYER

PROPOSED  
**SINGLE FAMILY HOUSING DEVELOPMENT**  
 PROTOTYPE "D"  
**ROOF PLAN & EXTERIOR ELEVATIONS**

REVISION / ISSUE


JOB NUMBER

2018-100

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KAH

DATE

11/01/2019

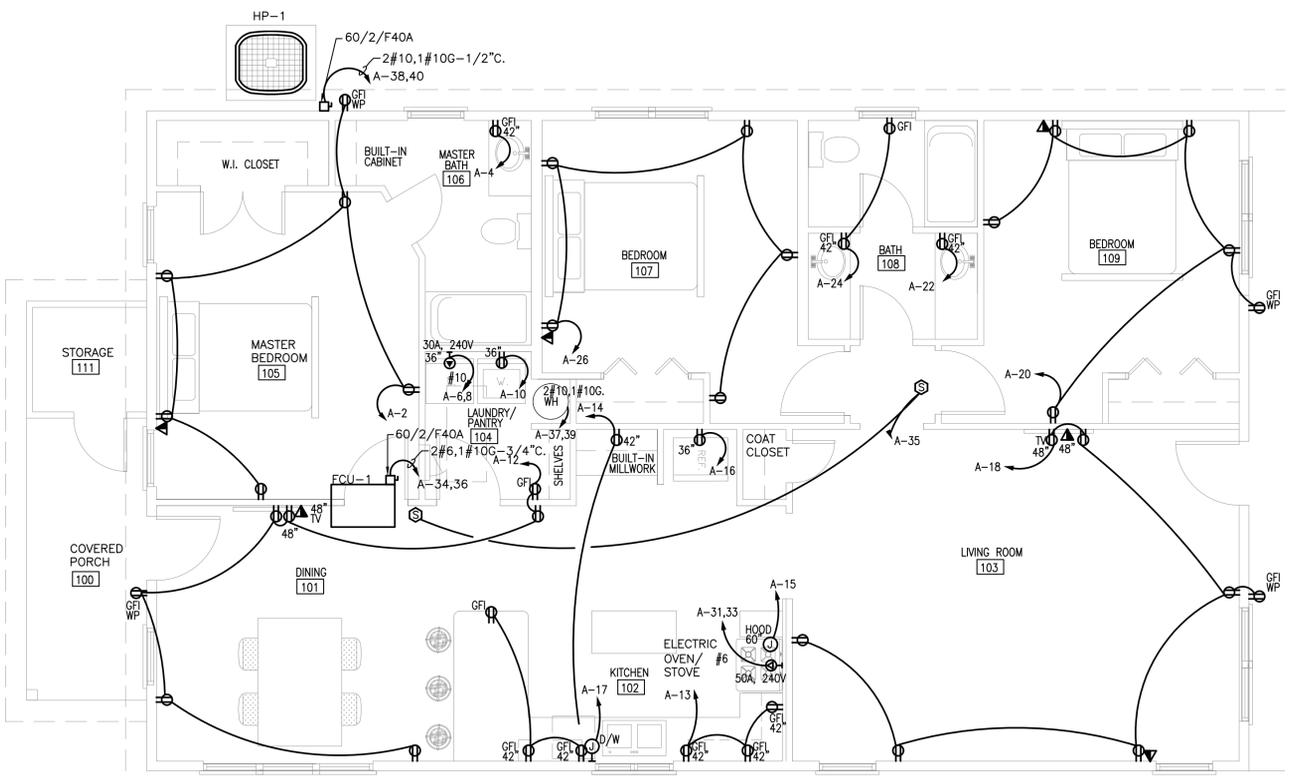
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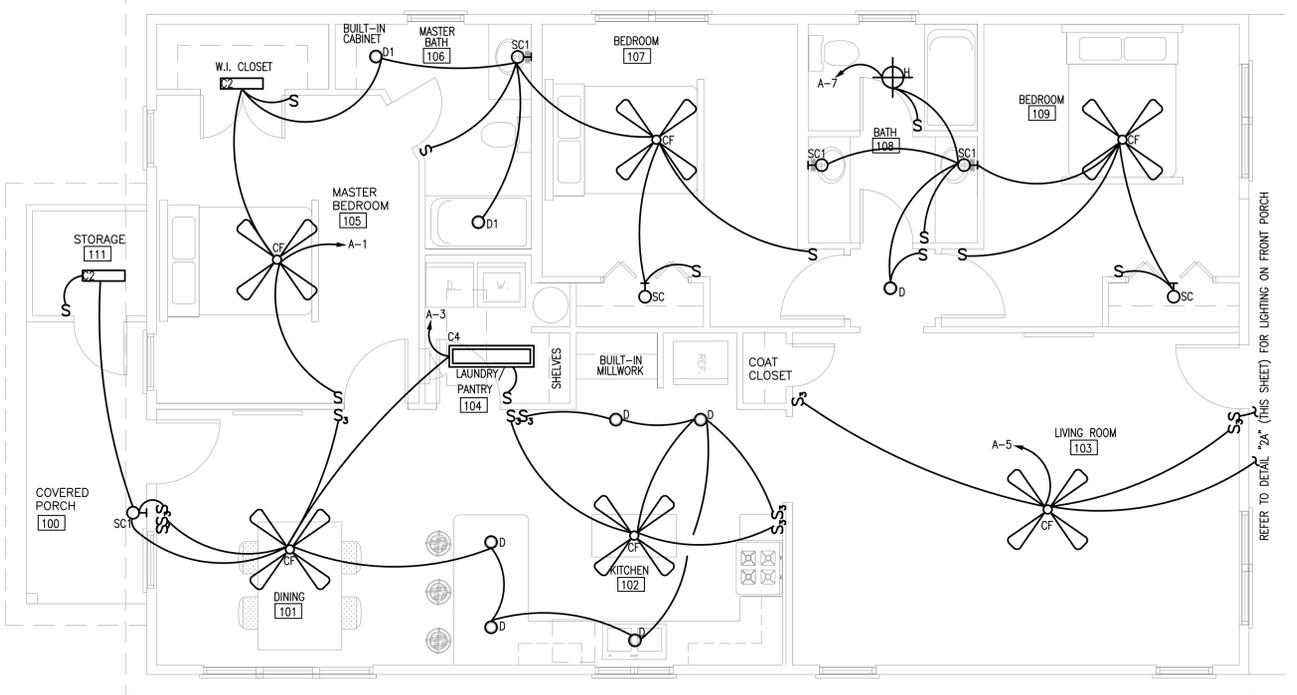




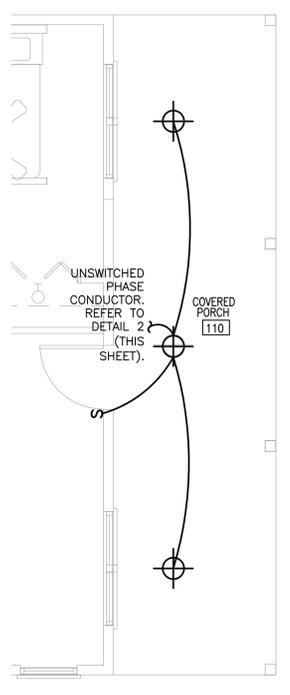
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**1 ELECTRICAL POWER PLAN**  
SCALE: 1/4" = 1'-0"



**2 ELECTRICAL LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"



**2D PORCH LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"

ELECTRICAL-MECHANICAL EQUIPMENT SCHEDULE											
DEVICE	VOLTAGE	HP	HEAT KW	FLA	MCA	MOCP	CKT. #	LOAD (KVA)	FEEDERS	DISCONNECT	NOTES
FCU-1	240/1	1/3	9.0	45.7	50	50	SEE PANEL SCHEDULE	9.5	2#6, 1#10G. -3/4"C.	60/2/F50A	
HP-1	240/1			19.3	23.8	35	SEE PANEL SCHEDULE	4.0	2#10, 1#10G. -1/2"C.	60/2/F35A/WP	3 TON

NOTES:  
1. X

		PANEL SCHEDULE "A"						
MANS: 200A MCB		VOLTAGE: 120/240V				MAIN BUS: COPPER		
PHASE/WIRE: 1PH,3W		MIN. AIC RATING: 10,000				MOUNTING: SURFACE		
		LOCATION: X						
AMPS TRIP	POLES	DESCRIPTION	CKT. #	PHASE LOAD (K.V.A.)		DESCRIPTION	POLES	AMPS TRIP
				#A	#B			
20	1	LIGHTS	1	1.1	1.2	RECEPT--MASTERBEDROOM	1	20
20	1	LIGHTS	3		1.3	RECEPT--MASTER BATH	1	20
20	1	LIGHTS	5	0.9	-	RECEPT--DRYER	2	30
20	1	LIGHTS	7		0.9	RECEPT--WASHER	1	20
20	1	X	9	-	1.0	RECEPT--DINING ROOM/LAUNDRY	1	20
20	1	X	11	--	1.2	RECEPT--KITCHEN	1	20
20	1	RECEPT--KITCHEN	13	0.6	0.6	RECEPT--KITCHEN	1	20
20	1	RANGE HOOD	15		--	RECEPT--REFRIGERATOR	1	20
20	1	DISHWASHER	17	1.0	1.2	RECEPT--LIVING ROOM	1	20
20	1	X	19		--	RECEPT--BEDROOM	1	20
20	1	X	21	-	0.2	RECEPT--BATH	1	20
20	1	X	23		--	RECEPT--BATH	1	20
20	1	X	25	-	1.0	RECEPT--BEDROOM	1	20
20	1	X	27		--	SPARE	1	20
20	1	X	29	-	-	SPARE	1	20
50		OVEN/RANGE	31		4.5	SPARE	1	20
2			33	4.5	4.8			50
20	1	SMOKE DETECTORS (LOCK-ON)	35		0.2	4.8	2	2
30		EWB-1	37	2.3	2.0			35
2			39		2.3	2.0		2
TOTALS				22.4	19.4			
CONNECTED LOAD: 41.8 KVA (174.1 AMPS)								
DEMAND LOAD: 41.8 KVA (174.1 AMPS)								

NOTES:  
1.

LIGHTING FIXTURE SCHEDULE							
TYPE	FIXTURE DESCRIPTION	MOUNTING	VOLTS	INPUT WATTS	LAMPS	MANUFACTURER	REMARKS
C2	1'X2' LIGHT FIXTURE	RECESS	120	75		TO BE SPECIFIED BY OWNER. ALLOWANCE \$75	
C4	1'X4' LIGHT FIXTURE	RECESS	120	75		TO BE SPECIFIED BY OWNER. ALLOWANCE \$100	
D	6" FLUORESCENT CAN LIGHT	RECESS CEILING	120	100		TO BE SPECIFIED BY OWNER. ALLOWANCE \$50	
D1	6" DIA. SHOWER DOWN LIGHT, WHITE PAINTED FLANGE, CLEAR LENS, IC RATED HOUSING, WET LOCATION LISTED	RECESS CEILING	120	120	(1) 60W A19	TO BE SPECIFIED BY OWNER. ALLOWANCE \$50	
G	CLOSE TO CEILING LIGHT FIXTURE	SURFACE CEILING	120	180	(3) 60W A19	TO BE SPECIFIED BY OWNER. ALLOWANCE \$75	
H	CLOSE TO CEILING LIGHT FIXTURE, WET LISTED	SURFACE CEILING	120	180	(3) 60W A19	TO BE SPECIFIED BY OWNER. ALLOWANCE \$75	
SC	VANITY LIGHT (WALL MOUNTED)	SURFACE WALL	120	120		TO BE SPECIFIED BY OWNER. ALLOWANCE \$125	
SC1	WALL SCONCE, WET LOCATION LISTED. FINISH BY OWNER.	SURFACE WALL	120	120	(2) 60W A19	TO BE SPECIFIED BY OWNER. ALLOWANCE \$150	
CF	CEILING FAN W/ LIGHT KIT	SURFACE CEILING	120	300		TO BE SPECIFIED BY OWNER. ALLOWANCE \$250	

NOTES:  
1. SPECIFIED LIGHT FIXTURES SHALL BE USED AS A BASIS OF DESIGN. OWNER SHALL APPROVE EXACT LIGHTING FIXTURE PACKAGE PRIOR TO BID SUBMITTAL.



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 ENGINEER

**HOME DEVELOPMENT RESOURCES INC.**  
 EXEC. DIRECTOR  
 THERESA DYER

PROPOSED SINGLE FAMILY HOUSING DEVELOPMENT PROTOTYPE "D" ELECTRICAL POWER AND LIGHTING PLAN

REVISION / ISSUE  
 JOB NUMBER: 2018-100  
 DRAWN: KAH  
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 SHEET: E-1.1



PLUMBING SPECIFICATIONS

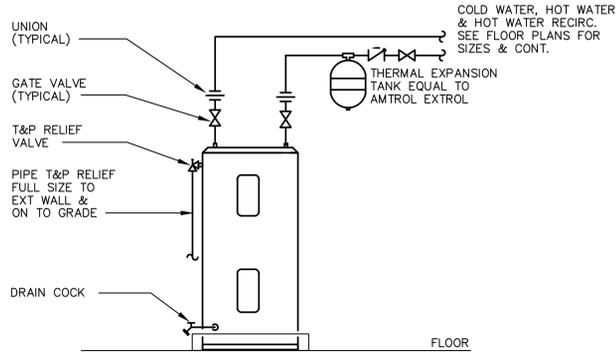
PART I - GENERAL

- A. FURNISH AND INSTALL ALL EQUIPMENT, FIXTURES AND DISTRIBUTION SYSTEMS SHOWN ON THE DRAWINGS AND/OR DESCRIBED WITHIN THESE SPECIFICATIONS. ITEMS LABELLED AS 'OWNER-FURNISHED' SHALL BE INSTALLED BY OWNER UNLESS OTHERWISE NOTED, BUT CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK ADJACENT TO OWNER'S ITEMS. CONTRACTOR SHALL OBTAIN CUT SHEET OR SIMILAR DESCRIPTION OF OWNER-FURNISHED ITEM FOR PURPOSES OF COORDINATION PRIOR TO STARTING WORK.
- B. MANUFACTURER'S WRITTEN RECOMMENDATIONS SHALL BE FOLLOWED FOR INSTALLATION OF WORK. WHERE MANUFACTURER'S INSTRUCTIONS DIFFER FROM THESE DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO STARTING WORK. TYPICALLY THE MOST RESTRICTIVE INSTRUCTION SHALL APPLY. IN ADDITION, ALL WORK SHALL COMPLY WITH THE CODE REQUIREMENTS FOR THIS PROJECT. SEE GENERAL NOTES FOR LIST OF APPLICABLE CODES.
- C. DRAWINGS ARE SCHEMATIC IN NATURE AND SHALL NOT BE SCALED BY THE CONTRACTOR. CONTRACTOR SHALL PERFORM MEASUREMENTS IN THE FIELD AND USE ACTUAL CHARACTERISTICS OF FURNISHED EQUIPMENT AND FIXTURES. OFFSETS AND CONNECTIONS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST. SPECIFICATIONS SHALL COMPLEMENT THE INFORMATION PROVIDED ON THE DRAWINGS AND SHALL DEFINE CONSTRUCTION STANDARDS AND QUALITY OF EQUIPMENT TO BE USED. WHERE DRAWINGS AND SPECIFICATIONS PROVIDE CONFLICTING INFORMATION, THE SPECIFICATIONS SHALL GOVERN.
- D. DESIGN SHOWN ON PLANS IS BASED UPON ONE MANUFACTURER'S EQUIPMENT AND FIXTURES. CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS TO ACCOMMODATE THE EQUIPMENT AND FIXTURES ACTUALLY INSTALLED ON SITE. ALL WORK REQUIRING SUBMITTAL & REVIEW SHALL BE SUBMITTED FOR REVIEW PRIOR TO PURCHASE, OR INSTALLATION. SEE GENERAL CONDITIONS FOR SUBMITTAL REQUIREMENTS.
- E. CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT AND SYSTEMS PRIOR TO REQUESTING FINAL INSPECTION. ALL SCRATCHES AND DENTS SHALL BE CORRECTED PRIOR TO CLEANING. ALL DEBRIS SHALL BE REMOVED FROM SITE PRIOR TO REQUESTING FINAL INSPECTION. ALL EQUIPMENT WITH FILTERS SHALL HAVE NEW FILTERS INSTALLED PRIOR TO REQUESTING FINAL INSPECTION.
- F. ALL PIPING SYSTEMS SHALL BE PROTECTED FROM WATER, DIRT, SCALE, AND DAMAGE DURING CONSTRUCTION. OPEN ENDS SHALL BE COVERED OR CAPPED AND SEALED UNTIL READY FOR FINAL CONNECTION AND USE.
- G. EQUIPMENT AND MATERIALS STORED SHALL BE PROTECTED FROM THE ELEMENTS BY MEANS OF 30 MIL BLACK PLASTIC AND SHALL REST ABOVE GRADE OR FLOOR ON PALLETS UNTIL READY FOR USE. EQUIPMENT AND MATERIALS THAT BECOME DAMAGED BY THE ELEMENTS SHALL BE REPAIRED OR REPLACED.
- H. CONTRACTOR SHALL TURN OVER TO OWNER SPARE PARTS, METER KITS, AND OTHER SUCH ITEMS AT TIME OF FINAL INSPECTION. CERTIFICATES OF DISINFECTION, AND O&M MANUALS SHALL BE SUBMITTED MINIMUM OF ONE WEEK PRIOR TO CONTRACTOR'S REQUEST FOR FINAL INSPECTION.
- I. CONTRACTOR SHALL EXAMINE THE PREMISES AND VERIFY ANY AND ALL OF THE EXISTING CONDITIONS UNDER WHICH WILL BE REQUIRED TO OPERATE PRIOR TO ORDERING OR PURCHASING ANY PLUMBING EQUIPMENT OR MATERIALS. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DEVIATION FROM CONTRACT DOCUMENTS.

PART II - PRODUCTS

- A. PIPING SYSTEMS
  - 1. DOMESTIC COLD AND HOT WATER SYSTEMS BELOW GRADE AND BELOW FLOOR, TWO AND ONE-HALF INCHES AND SMALLER, FOR WORKING PRESSURES 125 PSIG TO 5'-0" OUTSIDE BUILDING.
    - PIPE:
      - SOFT ANNEALED COPPER TYPE K CONFORMING TO FEDERAL SPECIFICATION WWT-799
      - HARD TEMPERED COPPER TYPE K CONFORMING TO FEDERAL SPECIFICATION WWT-799.
    - FITTINGS:
      - FITTINGS ARE NOT PERMITTED BELOW FLOOR SLABS WITH SOFT ANNEALED TYPE K COPPER PIPE.
      - CAST BRONZE FITTINGS PER FEDERAL SPECIFICATION WWT-799 WITH SOLDERED JOINTS.
    - JOINTS:
      - JOINTS ARE NOT PERMITTED BELOW FLOOR SLABS WITH SOFT ANNEALED TYPE K COPPER PIPE.
      - ALL JOINTS SHALL BE SOLDERED WITH THE EXCEPTION OF UNIONS, VALVES, SPECIALTIES AND DISCONNECT POINTS. SOLDER SHALL BE LEAD-FREE EQUAL TO J.W. HARRIS "BRIDGIT".
    - VALVES:
      - GATE VALVE CLOW AWMA OR APPROVED EQUAL
      - CHECK VALVE MILWAUKEE FIG. 509 OR APPROVED EQUAL
      - MILWAUKEE FIG. F-2974 OR APPROVED EQUAL
    - SLEEVES:
      - SCHEDULE 40 PVC PIPE AT A MINIMUM OF 3" DIAMETER OR TWO PIPE SIZES LARGER THAN INSULATED WATER PIPING.

- 2. DOMESTIC COLD AND HOT WATER SYSTEMS ABOVE GRADE, TWO INCHES AND SMALLER, FOR WORKING PRESSURES 125 PSIG.
  - PIPE:
    - HARD DRAWN COPPER TUBING TYPE L ASTM B88.
    - MALLEABLE COPPER TUBING TYPE K FOR SUB GRADE INSTALLATIONS
  - FITTINGS:
    - WROUGHT COPPER OR BRASS
  - JOINTS:
    - SOLDERED WITH 95/5 TIN/SILVER TYPE TAPE SHALL BE USED ON THREADED JOINTS.
  - VALVES:
    - GATE VALVE MILWAUKEE FIG. 149 OR APPROVED EQUAL
    - GLOBE VALVE MILWAUKEE FIG. 502 OR APPROVED EQUAL
    - CHECK VALVE MILWAUKEE FIG. 509 OR APPROVED EQUAL
- 3. SANITARY WASTE AND VENT SYSTEMS BELOW GRADE AND BELOW FLOOR TO 5'-0" OUTSIDE BUILDING.
  - PIPE:
    - SCHEDULE 40 DWV PVC PER ASTM F 1488
  - FITTINGS:
    - SCHEDULE 40 DWV PVC FITTINGS
  - JOINTS:
    - PVC SHALL BE SOLVENT JOINTS.
- B. MISCELLANEOUS PRODUCTS (SUBMITTAL REQUIRED)
  - 1. PRODUCTS:
    - FD FLOOR DRAIN - JAY R. SMITH FIG. 2110 WITH P050 TRAP PRIMER CONNECTION.
    - NFGH NON-FREEZE GROUND HYDRANT - 24" DEPTH OF BURY, 3/4" , J. R. SMITH FIG. 5810-W-N.
  - 2. CLEANOUTS:
    - PROVIDE CLEANOUTS AS SHOWN ON DRAWINGS AND AS REQUIRED BY CODE. ACCEPTABLE MANUFACTURERS ARE JAY R. SMITH, JOSAM CO., WADE, AND ZURN OR APPROVED EQUAL.
  - 3. FLOOR DRAINS:
    - PLUMBING CONTRACTOR SHALL COORDINATE TOP OF DRAIN WITH FINISH GRADE AND EXACT LOCATION BEFORE SETTING ANY DRAINS. ALL FLOOR DRAINS SHALL BE SIZED AS SHOWN ON DRAWINGS. ACCEPTABLE MANUFACTURERS ARE JAY R. SMITH, JOSAM CO., WADE, AND ZURN OR APPROVED EQUAL.
  - 4. INSULATION:
    - A. ALL DOMESTIC COLD AND HOT WATER BELOW GRADE AND ENCASED IN SLEEVE SHALL BE INSULATED WITH 1/2" THICK FOAMED PLASTIC INSULATION.
    - B. ALL DOMESTIC COLD AND HOT WATER ABOVE GRADE SHALL BE INSULATED WITH 1/2" NOMINAL THICKNESS INSULATION AND SHALL BE HEAVY DENSITY GLASS FIBER WITH ALL SERVICE JACKETS HAVING SELF SEALING LAP.
  - 5. PIPE SUPPORTS AND HANGERS:
    - ALL PIPING SHALL BE SUPPORTED BY THE BUILDING STRUCTURE BY MEANS OF PIPE HANGERS AND HANGER RODS. INSULATED WATER PIPE SHALL BE SUPPORTED BY B-LINE SYSTEMS B3100 WITH B3153 PIPE SHIELD. MINIMUM SPACING SHALL BE 4'-0" O.C. FOR PLASTIC PIPE. (OR APPROVED EQUAL)
  - 6. WATER HEATERS:
    - WATER HEATERS SHALL BE AS SPECIFIED ON THE DRAWINGS AND SHALL FIT THE SPACE PROVIDED. CONTRACTOR SHALL PROVIDE AMTROL EXTROL THERMAL EXPANSION TANK OR APPROVED EQUAL AND METAL DRIP PAN.
  - 7. FLASHING:
    - VENT PIPING SHALL BE ROUTED TO THE ATTIC AND OFFSET TO PENETRATE ROOF AT BACKSIDE OF BUILDING. COORDINATE PENETRATION THROUGH ROOF WITH ROOF EQUIPMENT. VENT PIPING PASSING THROUGH ROOF SHALL BE FLASHED WATER TIGHT AND SHALL BE INSTALLED PER WRITTEN RECOMMENDATIONS OF THE ROOFING MANUFACTURER.
  - 8. WATER HAMMER ARRESTORS:
    - WATER HAMMER ARRESTORS SHALL BE LOCATED AS PER CONTRACT DRAWINGS. ARRESTORS SHALL BE IN COMPLIANCE WITH P.D.I. WH-201. JAY R. SMITH FIG. 5020 PDI SYMBOL "C" OR APPROVED EQUAL.
  - 9. TRAP PRIMERS:
    - TRAP PRIMERS SHALL BE LOCATED AS PER CONTRACT DRAWINGS AND SHALL BE READILY ACCESSIBLE. PRECISION PLUMBING PRODUCTS PR-500 OR APPROVED EQUAL.



PLUMBING LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
---	ABV	ABOVE
---	A/F	ABOVE FLOOR
---	AF	ABOVE FINISHED FLOOR
---	A/C	ABOVE CEILING
---	BEL	BELOW
---	B/F	BELOW FLOOR
---	BFF	BELOW FINISHED FLOOR
---	B/G	BELOW GRADE
---	CO	CLEANOUT
---	CW	COLD WATER PIPE
---	DN	DOWN
---	FCO	FLOOR CLEANOUT
---	HW	HOT WATER PIPE
---	P-TRAP	P-TRAP
---	S,W	SANITARY SEWER PIPE (BELOW GRADE)
---	V	VENT PIPE
---	DGCO	DOUBLE GRADE CLEANOUT

PLUMBING FIXTURE SCHEDULE						
MARK	FIXTURE	DESCRIPTION	MANUFACTURER	WASTE CONN.	C.W. SUPPLY	H.W. SUPPLY
PF1	WATER CLOSET	ELONGATED FLUSH TANK TOILET, 1.28 GPF, CADET WHITE VITREOUS CHINA TOILET, SIPHON ACTION, 17" HIGH BOWL, WHITE SOLID PLASTIC OPEN FRONT HEAVY DUTY SEAT.	AMERICAN STANDARD TOILET: #215AA.004 SEAT: #5321.110	3"	1/2"	---
PF2	TUB/SHOWER	FIBERGLASS TUB/SHOWER, ANTI-SCALD THERMOSTATIC MIXING VALVE. SHOWER HEAD		2"	1/2"	1/2"
PF3	LAVATORY - DROP IN,	SINGLE FAUCET LAVATORY 4" O.C., 20"x17", SINGLE LEVER FAUCET WITH 0.5 GPM AERATOR, WHITE VITREOUS CHINA FINISH, 1 1/4" P-TRAP W/ CLEAN-OUT DRAIN, 1/2" MALE THREADED CONNECTIONS. MCGUIRE 170 SUPPLY VALVE W/ WHEEL HANDLE STOP	AMERICAN STANDARD LAV: #5004.207 FAUCET: #501LF-HGMHDF	1 1/4"	1/2"	1/2"
PF4	KITCHEN SINK	21"x33", 20 GA SELF-RIMMING, DOUBLE BOWL, #EBC TA150 P-TRAP W/ CLEAN-OUT, WHEEL HANDLE STOPS, #J35 BASKET STRAINER,	JUST MANUFACTURING LAV: #DL-2133-B-GR FAUCET: #100LF-HDF	2"	1/2"	1/2"
PWMB	WASHING MACHINE BOX	REVERSIBLE DRAIN METAL WASHING MACHINE OUTLET BOX, WATER HAMMER ARRESTOR, 1/4" TURN BRASS HAMMER BALL VALVE, BACKFLOW PREVENTER ON SUPPLY, LINT INTERCEPTOR PREVENT PASSAGE OF SOLIDS 1/2" OR LARGER.	OATEY #83694	2"	1/2"	1/2"
FD	FD	JOSAM 30000-A SERIES CAST IRON FLOOR DRAIN, TWO-PIECE BODY WITH DOUBLE DRAINAGE FLANGE AND 1/2" PRIMER TAP, WELLOC INVERTIBLE FLASHING COLLAR, WEEPHOLES, BOTTOM OUTLET CONNECTION AND NIKALOY ADJUSTABLE ROUND SUPER-FLO STRAINER.	JOSAM 30005-A	3"	---	---

1. FIXTURES SPECIFIED AS A BASIS OF DESIGN, SIMILAR PLUMBING FIXTURES SELECTED BY THE CONTRACTOR SHALL BE ACCEPTABLE.

WATER HEATER SCHEDULE						
MARK	MANUF./MODEL	STORAGE	RECOVERY	ELEC. KW	INLET/OUTLET	ELECTRICAL
EW-1	A.O.SMITH	50	-	4.5	3/4"	240/1
REMARKS						

FILE NAME: PO\_1.dwg  
 DIRECTOR: F:\2018-100 Jackson County NSP3 Program\ARCH  
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 PLOT DATE: Nov 04, 2019



SEAL 11.04.2019

**Bailey Associates**  
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 770.534.0612

ARCHITECT

**TRINITY ENGINEERING GROUP INC.**  
 1081 THOMPSON BRIDGE RD  
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 TEL. (770) 535-1044

ENGINEER

**HOME DEVELOPMENT RESOURCES INC.**  
 EXEC. DIRECTOR  
 THERESA DYER

**PROPOSED SINGLE FAMILY HOUSING DEVELOPMENT PROTOTYPE "D" PLUMBING SPECIFICATIONS AND DETAILS**

REVISION / ISSUE

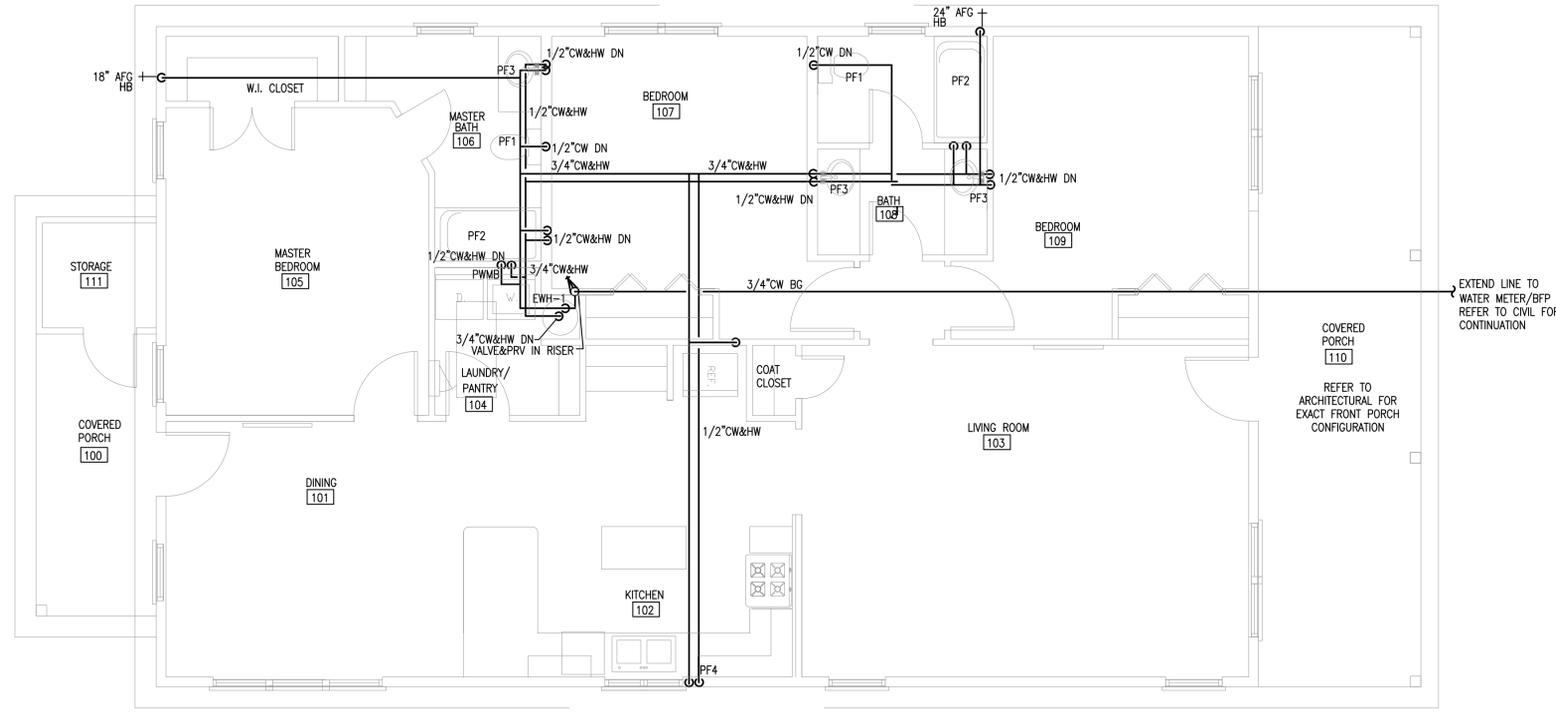
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**2018-100**

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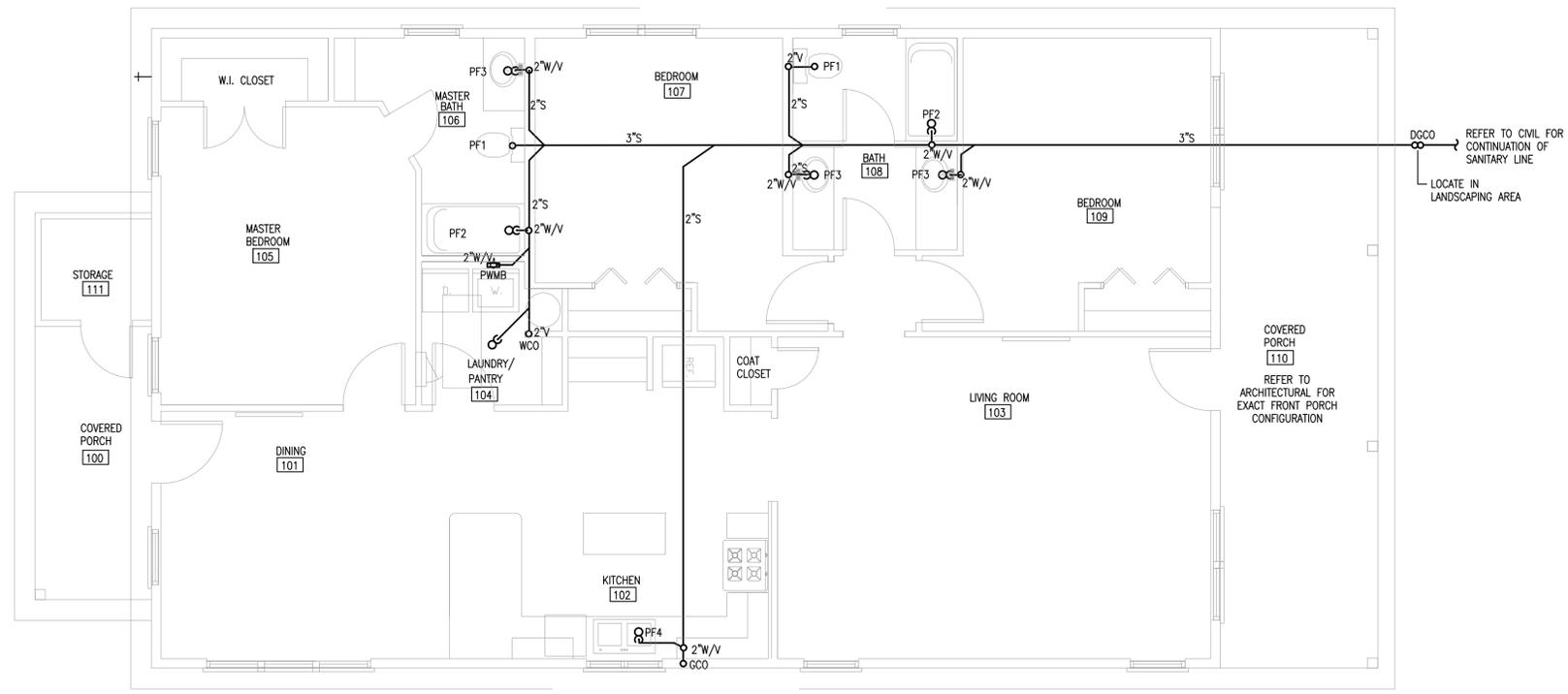
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**1 PLUMBING WATER PLAN**  
 SCALE: 1/4" = 1'-0"



**2 PLUMBING SANITARY PLAN**  
 SCALE: 1/4" = 1'-0"



SEAL 11.04.2019

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ENGINEER

**HOME DEVELOPMENT RESOURCES INC.**  
 EXEC. DIRECTOR  
 THERESA DYER

PROPOSED SINGLE FAMILY HOUSING DEVELOPMENT PROTOTYPE "D" PLUMBING PLAN

REVISION / ISSUE

NO.	DESCRIPTION

JOB NUMBER

2018-100

DRAWN

KAH

DATE

11/01/2019

SHEET

P-1.1

# ASBESTOS INSPECTION REPORT

80 Pine Avenue  
Commerce, Georgia 30529



## Dependable Home Inspections

927 Ginger Hill Road; Thomson, Georgia 30824  
706-833-0216 (cell) • 706-595-7595 (fax) • kevinburnley@att.net

# Dependable Home Inspections

927 Ginger Hill Road; Thomson, Georgia 30824  
706-833-0216 (cell) • 706-595-7595 (fax) • kevinburnley@att.net

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## ASBESTOS INSPECTION DETAILS

Date of Inspection: August 5, 2019

Owner: Melinda Rucker

Address: 80 Pine Avenue

City,State,Zip: Commerce, Georgia 30529

Building Type: Single Family Detached

Scope of Work: Asbestos survey for demolition

Notes on Structure: Wood framed structure over a crawl. Three to four layers of shingle roofing. Multiple layers of vinyl flooring throughout the home. Floors weak in places.

Approximate Size of Structure: 951 sq. ft.

Inspector: Shaun James

Certificate Number: 17230

Expiration Date: January 31, 2020

## ASBESTOS CONTAINING MATERIALS

Description of Material & Location	Asbestos Content	Quantity (SF)	Category
Vinyl floor in BDRM#1/kitchen	40% Chrysotile	300	Category 1
Ceiling texture BDRM #1/living room	2% Chrysotile	366	RACM

Notes:

Bedroom #1 had 12 samples of vinyl flooring taken and sent to the lab (1173-02 to 1173-14), however the lab was instructed to stop analyzing samples with the first sample of vinyl that tested positive. With that being said, all vinyl should be considered Asbestos Containing Material from Bedroom #1.

## SAMPLES COLLECTED

Bulk Sample #	Description	Result	Notes
1173-01-1	LR vinyl	ND	Vinyl
1173-02-1	BDRM #1 top layer at door	ND	Vinyl
1173-03-1	BDRM #1 mid layer at door	ND	Vinyl
1173-04-1	BDRM #1 bottom layer door	ND	Vinyl
1173-04-2	BDRM #1 bottom layer door	40% Chrysotile	Backing with glue
1173-15-1	BDRM #2 vinyl	ND	Vinyl
1173-15-2	BDRM #2 vinyl	ND	Backing with glue
1173-16-1	Bath vinyl by toilet	ND	Vinyl
1173-16-2	Bath vinyl by toilet	ND	Backing with glue
1173-17-1	Bath vinyl by shelves	ND	Vinyl
1173-17-2	Bath vinyl by shelves	ND	Backing with glue
1173-18-1	BDRM #3 vinyl	ND	Vinyl
1173-18-2	BDRM #3 vinyl	ND	Backing with glue
1173-19-1	Kitchen orange vinyl	ND	Vinyl
1173-19-2	Kitchen orange vinyl	ND	Backing with glue
1173-20-1	Kitchen top brown vinyl	ND	Vinyl
1173-21-1	Kitchen 2nd layer	ND	Vinyl
1173-21-2	Kitchen 2nd layer	ND	Backing with glue
1173-22-1	Kitchen 3rd layer	ND	Vinyl
1173-23-1	Kitchen 4th layer	ND	Vinyl
1173-23-2	Kitchen 4th layer	40% Chrysotile	Backing with glue
1173-24-1	Laundry wall joint compound	ND	Joint compound. Paint included as binder
1173-24-2	Laundry wall joint compound	ND	
1173-24-3	Laundry wall joint compound	ND	
1173-25-1	Ceiling BDRM #1	ND	Texture. Paint included as binder
1173-25-2	Ceiling BDRM #1	2% Chrysotile	Joint compound. Paint included as binder
1173-25-3	Ceiling BDRM #1	ND	
1173-25-4	Ceiling BDRM #1	ND	
1173-26-1	Roof shingles	ND	
1173-26-2	Roof shingles	ND	

ND = Not Detected

## ASBESTOS ABATEMENT COST ESTIMATE

Note: Measurements are estimates only and are not intended to be used by Abatement Contractors for bid purposes. Abatement Firms should verify quantities.

Asbestos Containing Materials	Quantity	Unit Price	Price
Vinyl flooring	300	\$2.50	\$750.00
Joint compound	366	\$1.75	\$640.50
			\$0.00
Notification to GA EPD	1	\$150.00	\$150.00
		Total:	\$1,540.50

Notes:

There were multiple layers in bedroom #1 so price per sq ft could change.



Front Side



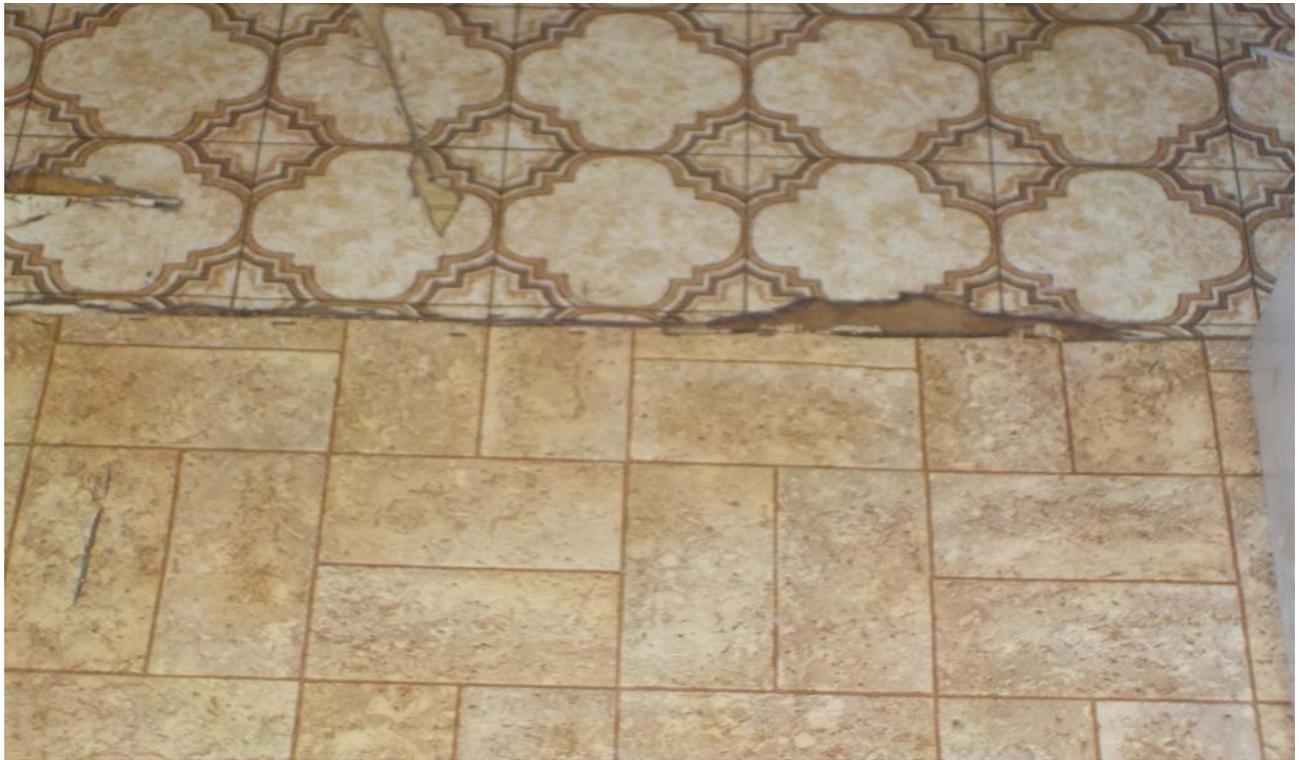
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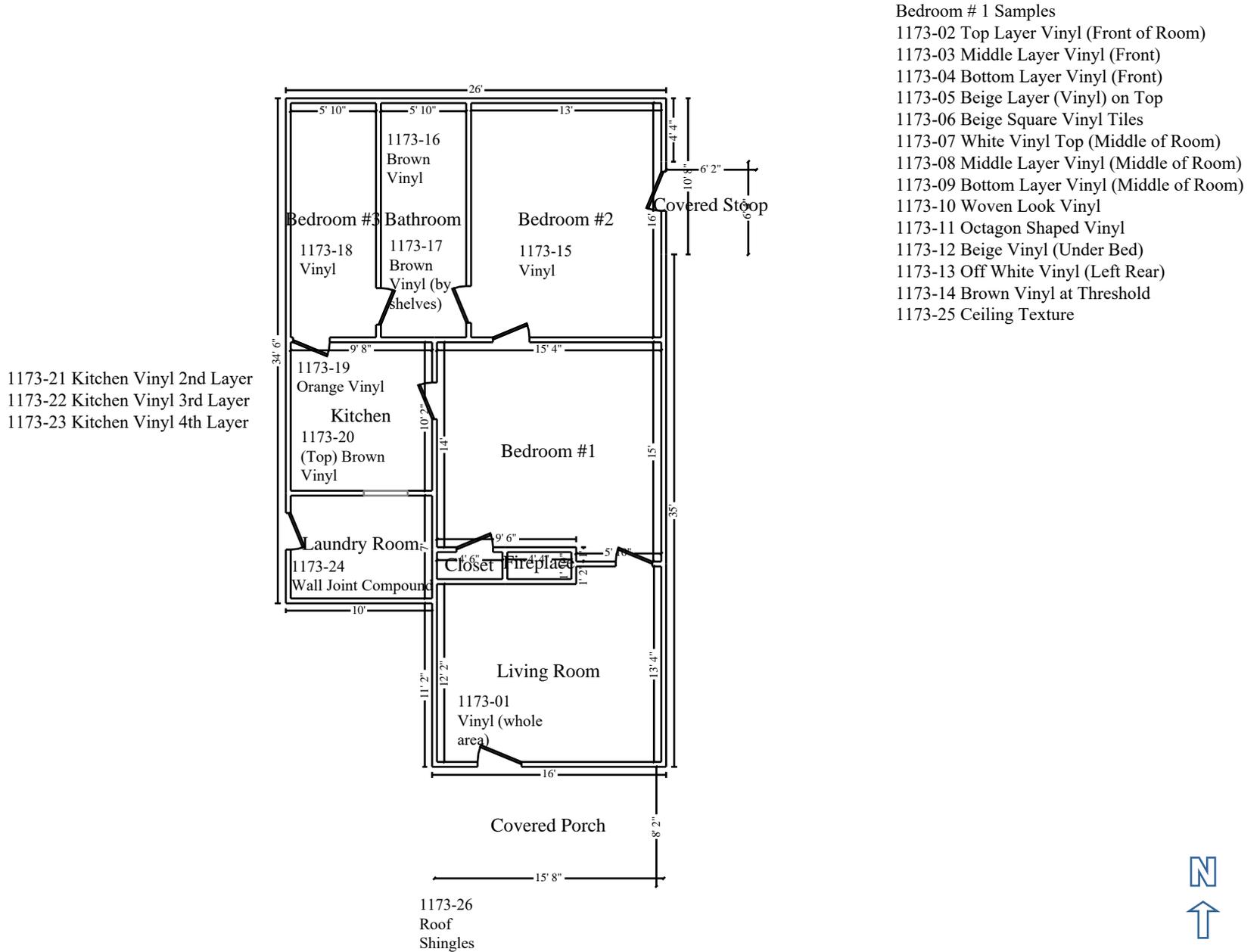
Right Side



Rear Side  
Page 6









**CHAIN OF CUSTODY  
 BULK ASBESTOS ANALYSIS**

Client Name:	<u>Dependable Home Inspections</u>	Phone:	<u>(706 ) 833-0216</u>
Address:	<u>703 Augusta Road</u>	Email:	<u>kevinburnley@att.net</u>
City, State, Zip:	<u>Thomson, Georgia 30824</u>	Project Name:	<u>80 Pine Ave</u>
Contact:	<u>Kevin Burnley</u>	Project Number:	<u>1173</u>
Sampler's Name:	<u>Shaun James</u>	Sampling Date:	<u>8/5/2019</u>
Report To:	<u>Kevin Burnley</u>	Invoice To:	<u>kevinburnley@att.net</u>

Sample ID	Sample Location/Description	Analysis Requested	Turnaround Time (TAT)	Comments
1 1173-01	LR vinyl	PLM	5 day	Point count <1%
2 1173-02	Bdrm #1 top layer at door	PLM	5 day	Point count <1%
3 1173-03	Bdrm #1 mid layer at door	PLM	5 day	Point count <1%
4 1173-04	Bdrm #1 bottom layer at door	PLM	5 day	Point count <1%
5 1173-05	Bdrm #1 beige layer on top	PLM	5 day	Point count <1%
6 1173-06	Bdrm #1 beige square tiles	PLM	5 day	Point count <1%
7 1173-07	Bdrm #1 white vinyl	PLM	5 day	Point count <1%
8 1173-08	Bdrm #1 mid layer under white	PLM	5 day	Point count <1%
9 1173-09	Bdrm #1 bottom layer under white	PLM	5 day	Point count <1%
10 1173-10	Bdrm #1 woven look vinyl	PLM	5 day	Point count <1%
11 1173-11	Bdrm #1 octagon shape vinyl	PLM	5 day	Point count <1%
12 1173-12	Bdrm #1 beige vinyl under bed	PLM	5 day	Point count <1%
13 1173-13	Bdrm #1 off white vinyl	PLM	5 day	Point count <1%
14 1173-14	Bdrm #1 brown vinyl at threshold	PLM	5 day	Point count <1%
15 1173-15	Bdrm #2 vinyl	PLM	5 day	Point count <1%
16 1173-16	Bath vinyl by toilet	PLM	5 day	Point count <1%
17 1173-17	Bath vinyl by shelves	PLM	5 day	Point count <1%
18 1173-18	Bdrm #3 vinyl	PLM	5 day	Point count <1%
19 1173-19	Kitchen orange vinyl	PLM	5 day	Point count <1%
20 1173-20	Kitchen top brown vinyl	PLM	5 day	Point count <1%

Relinquished by: <u>[Signature]</u>	Date/Time: <u>8/5/19 9:06 pm</u>
Received by: _____	Date/Time: _____
Relinquished by: _____	Date/Time: _____
Received by: _____	Date/Time: _____

Submission of samples to the laboratory constitutes acceptance of AES's Terms & Conditions. Samples received after 3PM or on Saturday are considered as received the following business day. If no TAT is marked on COC, AES will proceed with standard TAT.

Lab Recipient: <u>[Signature]</u>	FOR LAB USE ONLY	Date/Time: <u>8-6-19 1033</u>	Method of Shipment: <u>UPS</u>	Page 1 of 8
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**CHAIN OF CUSTODY  
 BULK ASBESTOS ANALYSIS**

Client Name:	<u>Dependable Home Inspections</u>	Phone:	<u>(706) 833-0216</u>
Address:	<u>703 Augusta Road</u>	Email:	<u>kevinburnley@att.net</u>
City, State, Zip:	<u>Thomson, Georgia 30824</u>	Project Name:	<u>80 Pine Ave</u>
Contact:	<u>Kevin Burnley</u>	Project Number:	<u>1173</u>
Sampler's Name:	<u>Shaun James</u>	Sampling Date:	<u>8/5/2019</u>
Report To:	<u>Kevin Burnley</u>	Invoice To:	<u>kevinburnley@att.net</u>

Sample ID	Sample Location/Description	Analysis Requested	Turnaround Time (TAT)	Comments
1 1173-21	Kitchen 2nd layer	PLM	5 day	Point count <1%
2 1173-22	Kitchen 3rd layer	PLM	5 day	Point count <1%
3 1173-23	Kitchen 4th layer	PLM	5 day	Point count <1%
4 1173-24	Laundry wall Joint compound	PLM	5 day	Point count <1%
5 1173-25	Ceiling Bdrm #1	PLM	5 day	Point count <1%
6 1173-26	Roof shingles	PLM	5 day	Point count <1%
7				
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Relinquished by: [Signature]  
 Received by: \_\_\_\_\_  
 Relinquished by: \_\_\_\_\_  
 Received by: \_\_\_\_\_

Date/Time: 8/5/19 4:06pm  
 Date/Time: \_\_\_\_\_  
 Date/Time: \_\_\_\_\_  
 Date/Time: \_\_\_\_\_

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Lab Recipient: <u>[Signature]</u>	FOR LAB USE ONLY	Date/Time: <u>8/6/19 1033</u>	Method of Shipment: <u>UPS</u>	Page 2 of 8
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**ANALYTICAL ENVIRONMENTAL SERVICES, INC.**  
**Bulk Sample Summary Report**



Lab Code 102082-0

12-Aug-19

Client Name:	<b>Dependable Home Inspections</b>	AES Job Number:	<b>1908318</b>
Project Name:	<b>80 PINE AVE</b>	Project Number:	<b>1173</b>

Client ID	AES ID	Location	Asbestos Mineral Percentage						Comments
			CH	AM	CR	AN	TR	AC	
1173-01 Layer: 1	1908318-001A	LR VINYL	ND	ND	ND	ND	ND	ND	Vinyl
1173-02 Layer: 1	1908318-002A	BDRM #1 TOP LAYER AT DOOR	ND	ND	ND	ND	ND	ND	Vinyl
1173-03 Layer: 1	1908318-003A	BDRM #1 MID LAYER AT DOOR	ND	ND	ND	ND	ND	ND	Vinyl
1173-04 Layer: 1	1908318-004A	BDRM #1 BOTTOM LAYER AT DOOR	ND	ND	ND	ND	ND	ND	Vinyl
1173-04 Layer: 2	1908318-004A	BDRM #1 BOTTOM LAYER AT DOOR	40	ND	ND	ND	ND	ND	Backing with glue
1173-15 Layer: 1	1908318-015A	BDRM #2 VINYL	ND	ND	ND	ND	ND	ND	Vinyl

Note: CH=chrysotile, AM=amosite, CR=crocidolite, AC=actinolite, TR=tremolite, AN=anthophyllite

For comments on the samples, see the individual analysis sheets.

ND = None Detected

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These test results apply only to those samples actually tested, as submitted by the client. All percentages are reported by visually estimated volume.

PLM is not consistently reliable in detecting small concentrations of asbestos in floor tiles and similar nonfriable materials, quantitative TEM is currently the only method that can be used to determine conclusive asbestos content.

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Microanalyst:

Penka Topuzova

QC Analyst:

Yelena Khanina



**ANALYTICAL ENVIRONMENTAL SERVICES, INC.**  
**Bulk Sample Summary Report**



Lab Code 102082-0

12-Aug-19

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Project Name:	<b>80 PINE AVE</b>	Project Number:	<b>1173</b>

Client ID	AES ID	Location	Asbestos Mineral Percentage						Comments
			CH	AM	CR	AN	TR	AC	
1173-15 Layer: 2	1908318-015A	BDRM #2 VINYL	ND	ND	ND	ND	ND	ND	Backing with glue
1173-16 Layer: 1	1908318-016A	BATH VINYL BY TOILET	ND	ND	ND	ND	ND	ND	Vinyl
1173-16 Layer: 2	1908318-016A	BATH VINYL BY TOILET	ND	ND	ND	ND	ND	ND	Backing with glue
1173-17 Layer: 1	1908318-017A	BATH VINYL BY SHELVES	ND	ND	ND	ND	ND	ND	Vinyl
1173-17 Layer: 2	1908318-017A	BATH VINYL BY SHELVES	ND	ND	ND	ND	ND	ND	Backing with glue
1173-18 Layer: 1	1908318-018A	BDRM #3 VINYL	ND	ND	ND	ND	ND	ND	Vinyl

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Project Name:	<b>80 PINE AVE</b>	Project Number:	<b>1173</b>

Client ID	AES ID	Location	Asbestos Mineral Percentage						Comments
			CH	AM	CR	AN	TR	AC	
1173-18 Layer: 2	1908318-018A	BDRM #3 VINYL	ND	ND	ND	ND	ND	ND	Backing with glue
1173-19 Layer: 1	1908318-019A	KITCHEN ORANGE VINYL	ND	ND	ND	ND	ND	ND	Vinyl
1173-19 Layer: 2	1908318-019A	KITCHEN ORANGE VINYL	ND	ND	ND	ND	ND	ND	Backing with glue
1173-20 Layer: 1	1908318-020A	KITCHEN TOP BROWN VINYL	ND	ND	ND	ND	ND	ND	Vinyl
1173-21 Layer: 1	1908318-021A	KITCHEN 2ND LAYER	ND	ND	ND	ND	ND	ND	Vinyl
1173-21 Layer: 2	1908318-021A	KITCHEN 2ND LAYER	ND	ND	ND	ND	ND	ND	Backing with glue

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Client ID	AES ID	Location	Asbestos Mineral Percentage						Comments
			CH	AM	CR	AN	TR	AC	
1173-22 Layer: 1	1908318-022A	KITCHEN 3RD LAYER	ND	ND	ND	ND	ND	ND	Vinyl
1173-23 Layer: 1	1908318-023A	KITCHEN 4TH LAYER	ND	ND	ND	ND	ND	ND	Vinyl
1173-23 Layer: 2	1908318-023A	KITCHEN 4TH LAYER	40	ND	ND	ND	ND	ND	Backing with glue
1173-24 Layer: 1	1908318-024A	LAUNDRY WALL JOINT COMPOUND	ND	ND	ND	ND	ND	ND	Joint compound. Paint included as binder
1173-24 Layer: 2	1908318-024A	LAUNDRY WALL JOINT COMPOUND	ND	ND	ND	ND	ND	ND	
1173-24 Layer: 3	1908318-024A	LAUNDRY WALL JOINT COMPOUND	ND	ND	ND	ND	ND	ND	

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Project Name:	<b>80 PINE AVE</b>	Project Number:	<b>1173</b>

Client ID	AES ID	Location	Asbestos Mineral Percentage						Comments
			CH	AM	CR	AN	TR	AC	
1173-25 Layer: 1	1908318-025A	CEILING BDRM #1	ND	ND	ND	ND	ND	ND	Texture. Paint included as binder
1173-25 Layer: 2	1908318-025A	CEILING BDRM #1	2	ND	ND	ND	ND	ND	Joint compound. Paint included as binder
1173-25 Layer: 3	1908318-025A	CEILING BDRM #1	ND	ND	ND	ND	ND	ND	
1173-25 Layer: 4	1908318-025A	CEILING BDRM #1	ND	ND	ND	ND	ND	ND	
1173-26 Layer: 1	1908318-026A	ROOF SHINGLES	ND	ND	ND	ND	ND	ND	
1173-26 Layer: 2	1908318-026A	ROOF SHINGLES	ND	ND	ND	ND	ND	ND	

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Yelena Khanina

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# ***The Environmental Institute***

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## *Shaun James*

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Social Security Number - XXX-XX-1488

Dependable Home Inspections - 703 Augusta Road - Thomson, Georgia 30824

*Has completed coursework and satisfactorily passed  
an examination that meets all criteria required for  
EPA/ASHERA/ASHARA (TSCA Title II) Approved Reaccreditation*

*Asbestos in Buildings: Inspector Refresher*

*February 1, 2019*

Course Date

*17230*

Certificate Number

*February 1, 2019*

Examination Date

*January 31, 2020*

Expiration Date

*David W. Hogue*

David W. Hogue - Principal Instructor / Training Manager

*Rachel G. McCain*

Rachel G. McCain - Exam Administrator



(Approved by the ABIH Certification Maintenance Committee for 1/2 CM point - Approval #11-577)

(Florida Provider Registration Number FL49-0001342 - Course #FL49-0002805)

TEI - 1841 West Oak Parkway, Suite F - Marietta, Georgia 30062 - (770) 427-3600 - [www.tei-atl.com](http://www.tei-atl.com)